



# CLERMONT COUNTY OHIO

## PLANNING COMMISSION STAFF REPORT

FOR CONSIDERATION BY PLANNING COMMISSION ON May 20, 2025

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### SHAWNEE STATION – DESIGN PLAN

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- APPLICANT:** MER Land Development  
PO Box 43131  
Cincinnati, OH 45243
- OWNER:** Winding Creek Estates, LLC  
6281 Tri-Ridge Blvd., Suite 180  
Loveland, OH 45140
- ENGINEER:** Cardinal Engineering  
1 Mook Road  
Wilder, KY 41071
- REQUEST:** Requesting approval from the Clermont County Planning Commission for Shawnee Station – Design Plan
- LOCATION:** The subject property (PINs 373103E062 & 012007A010) is located towards the South of Old State Route 74 in Union & Batavia Townships.
- HISTORY:** Clermont County Planning Commission recommended approval of a zoning map amendment for 19.71 acres in Batavia Township from the “I” Industrial District to “PD” Planned Development District on January 28, 2025.

#### DEVELOPMENT PROPOSAL:

Shawnee Station – Design Plan consists of 41 Single-Family residential lots, 8 Multi-Family residential lots, two open space lots, and golf facilities on a vacant property. The subject property is adjacent to landuses that include Commercial, Residential, and Agricultural uses. The proposed land use is detached single-family residences, multi-family condominiums, open space, a golf course, driving range, and clubhouse. The total area is +/- 57.36 acres (19.71 acres in Batavia Township and 35.65 acres in Union Township) with 8.16 acres of open space (14.2%). The project will include 41 Single-Family dwelling units and 98 Multi-Family dwelling units for a total project density of +/- 2.42 dwelling units (gross) per acre for this subdivision.

**DEVELOPMENT DATA:**

**Current Zoning:** “PD” Planned Development District within Batavia Township (PIN 012007A010), and “PD” Planned Development District within Union Township (PIN 373103E062).

<b>Total Lots:</b> 52 Lots	<b>Total Site Area:</b> +/- 57.36 acres
<b>Area in Residential Lots:</b> +/- 11.53 acres	<b>Area in R/W+Streets:</b> +/- 3.37acres
<b>Area in Open Space:</b> +/- 8.16 acres	<b>Density:</b> +/- 2.42 du/a

**School District:** Batavia Local School District

**Homes:**

**Number of Units:** 41 Single-Family, 98 Multi-Family

**Single-Family Site Data**

**Min. Lot Area:** +/- 6,875 sq. ft.

**Min. Lot Width:** 55 ft.

**Front Yard Setback:** 30 ft.

**Side Yard Setback:** 7.5 ft.

**Rear Yard Setback:** 30 ft.

**Multi-Family Site Data**

**Min. Lot Area:** +/- 14,243 sq. ft.

**Min. Lot Width:** 83.14 ft.

**Front Yard Setback:** 24 ft.

**Side Yard Setback:** 5 ft.

**Rear Yard Setback:** 19 ft.

**SITE ACCESS:**

The Design Plan shows access to the single-family dwellings coming from an extension of Woodchase Trail, and access to the condominiums and golf facilities will come from a private street off of Old State Route 74 with an additional employee parking access also coming off of Old State Route 74.

**STAFF ANALYSIS:**

Per the review of Shawnee Station – Design Plan, the development will follow all requirements pertaining to Article V of the *Clermont County Subdivision Regulations* based on conditions noted in the Design Plan Review Meeting. The proposed subdivision is an expected development and complements the land uses of the surrounding area. The applicant is aware of any comments and conditions necessary to construct the development and agrees with them. Those comments/conditions are detailed in the staff report.

Staff finds the development compatible with the surrounding development and character as it is similar to existing surrounding development. Departmental comments are below and the applicant and developer are aware of the requirements in order for this subdivision to be constructed. Following a Design Plan Review meeting, the applicant has already addressed many of these comments in a revision submitted May 16, and many of the comments can be addressed in Construction Plan or Record Plat review.

**AGENCY REVIEW AND NOTIFICATION:**

<b>AGENCY</b>	<b>REFERRAL SENT</b>	<b>COMMENTS RECEIVED</b>
Township ( <i>Fire/EMS/Service</i> )	X	
Community and Economic Development (CED)	X	X
Engineer's Office (CCEO)	X	X
Water Resources Department (WRD)	X	X
Water Management & Sediment Control (WMSC)	X	X
Soil and Water Conservation District (SWCD)	X	X
Ohio Department of Transportation (ODOT)		
School District		

**REFERRAL AGENCIES' COMMENTS:**

**Community and Economic Development Comments:**

- Any future development of the site must comply with any and all regulations from Clermont County, Batavia Township, the State of Ohio, or any other applicable agency.

**Engineer's Office Comments:**

1. A Minimum Forty (40) Foot Private Street Easement needs to be provided along Shawnee Station Boulevard.
2. Shawnee Station Boulevard needs to be labeled as a Private Street.
3. Remove all references to Right-of-Way, ROW, and RNV within the private road portion of this development.
4. A Traffic Impact Study, for the Old State Route 74 — Olive Branch Stonelick Road Intersection, needs to be provided and approved prior Construction Drawing Approval.
5. A ROW or Private Street Easement is NOT needed for Shawnee View Lane.
6. Hatching/Shading needs to be removed from the plans as part of the Construction Plan Submittal.
7. The location of the proposed sign needs to be Labeled, and Dimensioned upon the plans. The dimension to the sign needs to be measured perpendicularly from the Right-of-Way Line. See township zoning regulations for the minimum required distance (Typically 10 (Ten) Feet) from the Right-of-Way.
8. A general reminder regarding Public roadway geometry; the minimum allowable street grade is 0.4%, maximum street grade is 12% (10% preferred), and the minimum centerline curve radius is 200'. This comment applies to Woodchase Trail and Shawnee Trail ONLY.

**Water Resources Department Comments:**

1. Sheet C-400, Sanitary Sewer laterals are not shown on the plans for each residence with the appropriate cleanouts per CCWRD rules and regulations, specifications, and details.
2. Sheet C-400, Sanitary Sewer appears to be short near the cul-de-sacs and will cause longer than acceptable laterals through the cul-de-sacs. Keep laterals less than 100 feet within the public R/W & easements (sanitary sewer to public cleanout).
3. Sheet C-400, Sanitary Sewer
4. Provide appropriate General Notes from CCWRD rules and regulations, specifications and detail sheets for the water and sewer.
5. Provide elevation plans of all sanitary sewer and water mains with the appropriate elevations and labels for each. Please have the material, size and slope of the sanitary sewer labelled along with the material and size of the water main.
6. Provide appropriate details from CCWRD for the water and sewer. They can be found at [wr.d.clermontcountyohio.gov](http://wr.d.clermontcountyohio.gov).

**Water Management & Sediment Control Comments:**

1. The WMSC regulations will need to be addressed for stormwater/sediment control compliance. Any earth movement, both fill and excavation, that is over the required limits that apply to the WMSC regulations will need to be addressed by a geotechnical engineer.
2. All stream crossing and development within the calculated 100-year storm boundaries will need to be addressed by providing engineering calculations to pass that frequency storm.

**Soil & Water Conservation District**

1. Account for management of stormwater runoff from club house and parking lot near Old SR 32
2. Easements will be needed for portions of the storm water conveyance system (including basins) outside the public road right-of-way
3. Geotechnical reports will be needed for all construction on EbE2 and HkF2 soils
4. Provide the status of wetland jurisdictional determination and any required mitigation efforts
5. Identify stream buffer zones as a protected greenway
6. Silt fence will need to be placed on level contours (can be addressed in construction drawings)
7. Clearing along Shayler Creek outside of protected buffer: In the construction plan, include the following:
  - a. Preserve large trees where practical (e.g. sycamores); identify on the plan which are to be protected and which are to be removed.
  - b. Slope banks back to 5:1 slope where practical
  - c. Provide planting plan (species types and numbers). Trees and shrubs that can be pruned should be used within the first 10 feet from the stream bank. Appropriate species include black willow, silky dogwood, common buttonbush, ninebark, sandbar willow, roughleaf dogwood, and/or arrowwood viburnum. Live stakes can be used.

8. Recommendation only: consider constructing an off-channel wetland in place of the retention pond at Hole #1

**STAFF RECOMMENDATION:**

Based on Staff Analysis, request a motion to **APPROVE** the Shawnee Station – Design Plan with the following conditions:

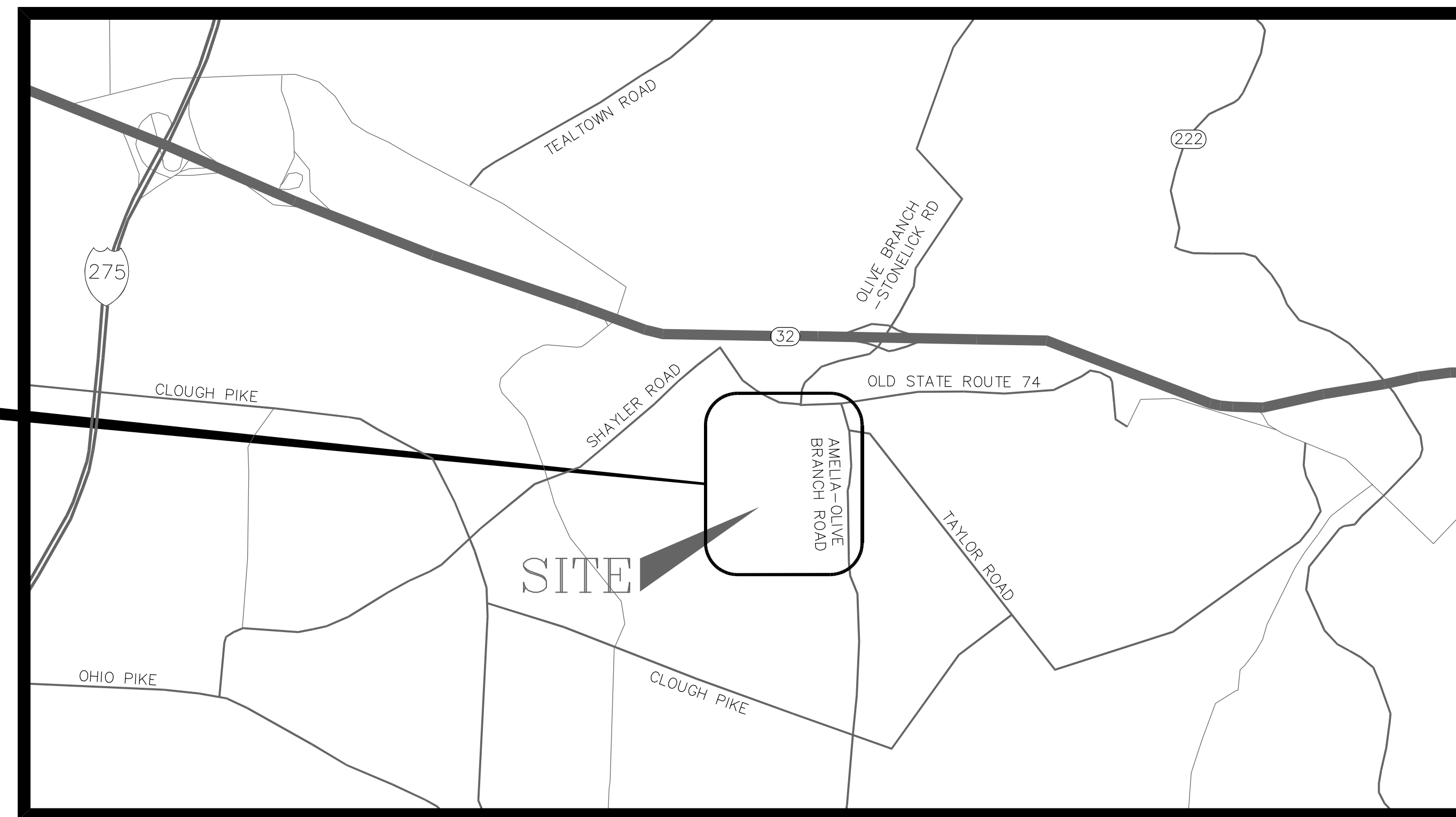
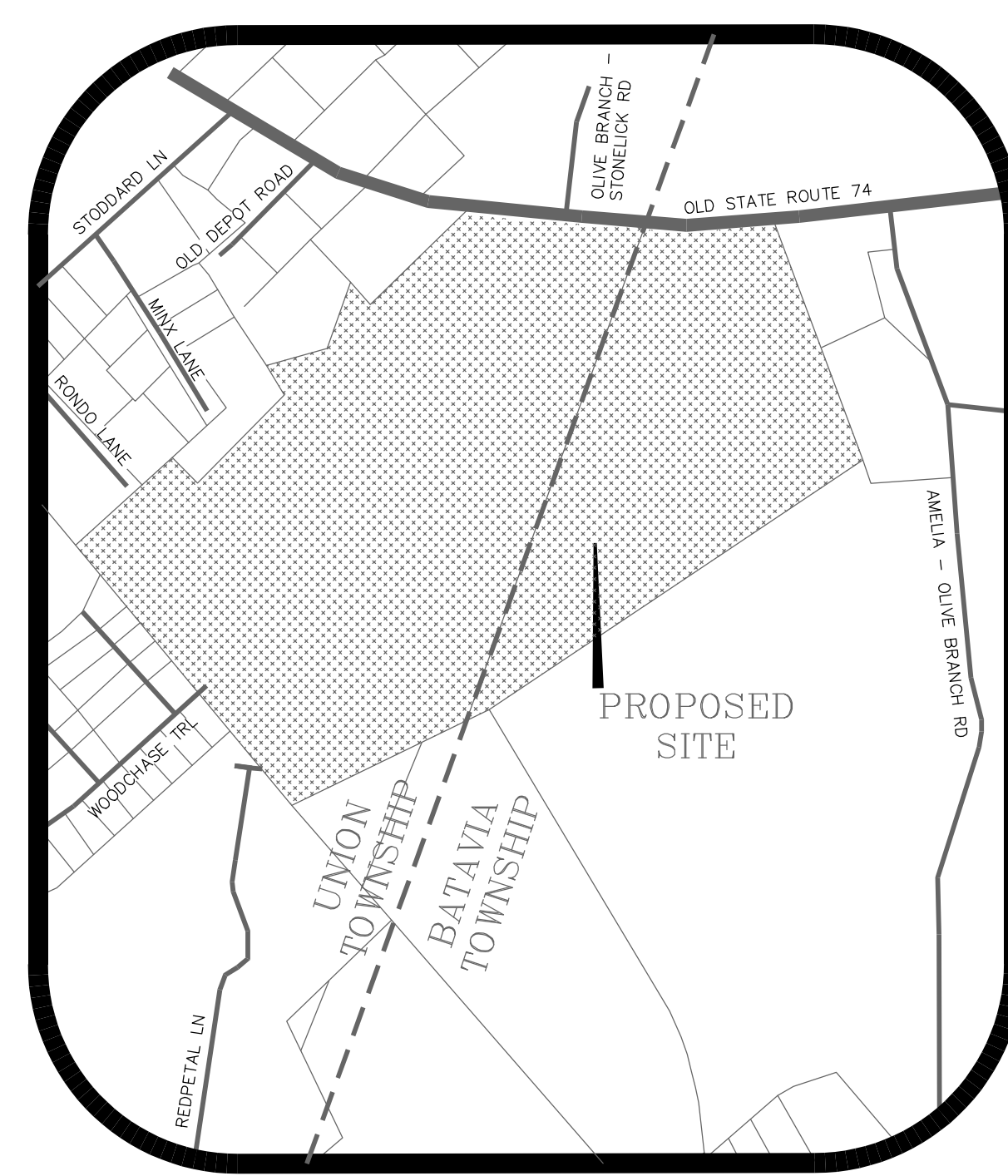
1. All county and township departments' comments and conditions be satisfactorily addressed.
2. Any future development of the site must comply with any and all regulations from Clermont County, Union Township, Batavia Township, the State of Ohio, or any other applicable agency.
3. Submit one (1) plan set with an original stamp and signature to the Department of Community & Economic Development Planning Division.

**Attachments:**

- A. Shawnee Station – Design Plan Drawings
- B. Shawnee Station – Application
- C. Parcel Map
- D. Context Map
- E. Zoning Map

# SHAWNEE STATION DEVELOPMENT & GOLF COURSE CLERMONT COUNTY DESIGN PLANS

BATAVIA TOWNSHIP & UNION TOWNSHIP, CLERMONT COUNTY, OHIO  
DARBY'S MILITARY SURVEY NO. 2058



VICINITY MAP

- C-000 - TITLE SHEET & VICINITY MAP
- C-100 - PRELIMINARY SPECIFICATIONS
- C-200 - SEDIMENT AND EROSION CONTROL DETAILS
- C-210 - STORM DETAILS
- C-220-221 - SANITARY SEWER DETAILS
- C-230 - WATER MAIN DETAILS
- C-400 - ZONE CHANGE PLAN
- C-500-501 - PRELIMINARY SITE LAYOUT PLAN
- C-502 - PRELIMINARY LOT DIMENSION PLAN
- C-503 - PRELIMINARY OVERALL LAYOUT PLAN
- C-600 - PRELIMINARY GRADING & UTILITY PLAN
- C-700 - PRELIMINARY SWPP PLAN
- C-900 - PRELIMINARY STREET & WATER PROFILES
- C-910 - PRELIMINARY STORM PROFILES
- C-920 - PRELIMINARY SANITARY PROFILES

## CONTACTS

PROPERTY OWNER:  
WINDING CREEK ESTATES, LLC  
6281 TRI-RIDGE BOULEVARD, SUITE 180  
LOVELAND, OHIO 45140

APPLICANT:  
MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243  
(513) 616-7708

ENGINEER:  
CARDINAL ENGINEERING  
1 MOOCK ROAD, SUITE 100  
WILDER, KENTUCKY 41071  
(859) 581-9600

SURVEYOR:  
NICHOLS SURVEYING  
P.O. BOX 306  
550 KILGORE STREET  
BATAVIA, OHIO 45103  
(513) 732-0577

REVISIONS	DATE	#	ITEM
	05/16/25	1	DESIGN PLAN REVISIONS
	05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
ENGINEERING  
ARCHITECTURE  
LAND SURVEYING  
ONE MOOCK ROAD  
WILDER, KENTUCKY 41071  
PHONE: (859) 581-9600  
FAX: (859) 581-9636

WEBSITE: <http://www.cardinalengineering.net>

PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2058  
BATAVIA & UNION TOWNSHIPS, CLERMONT COUNTY, OHIO

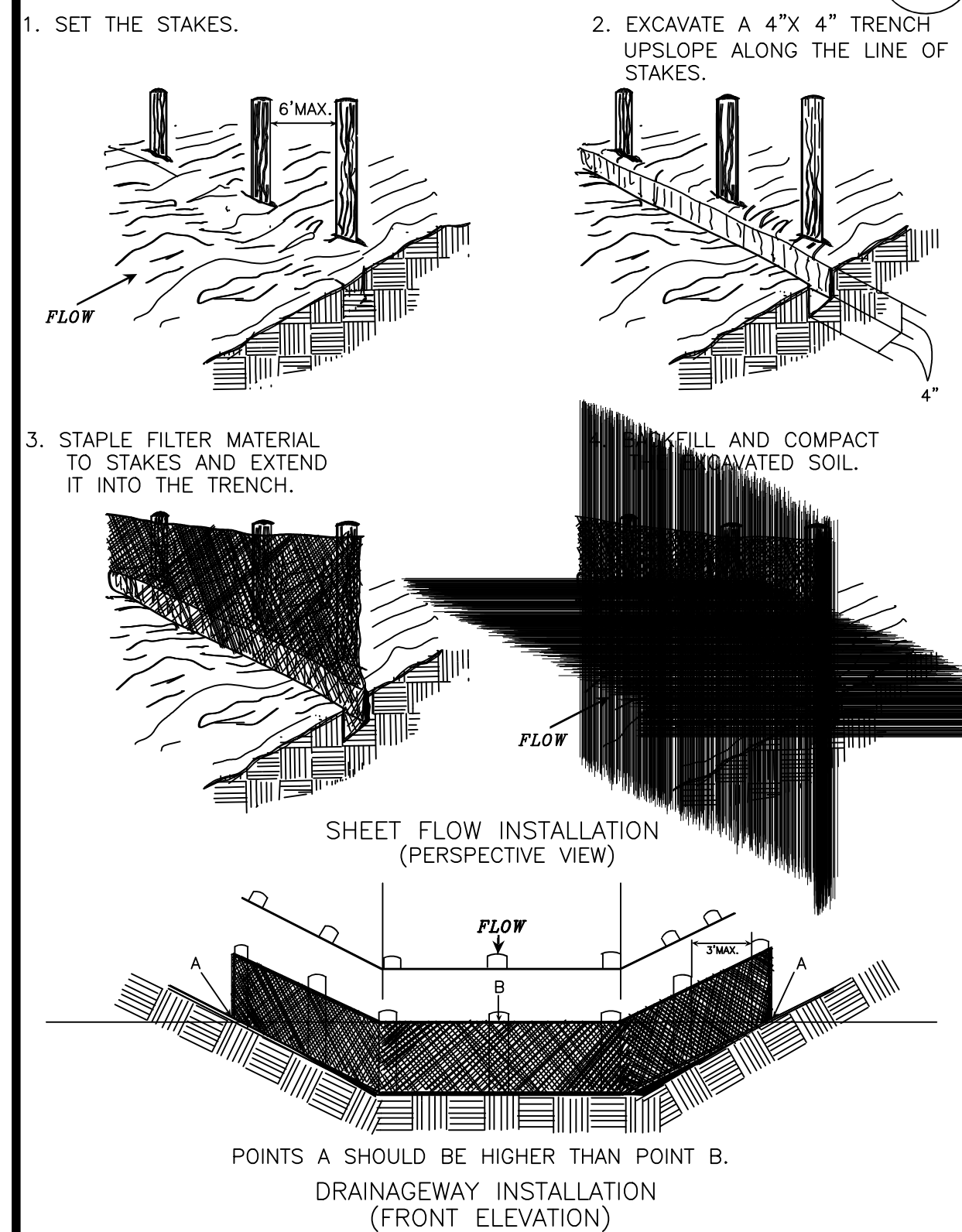
CLIENT: MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY: SPM  
CHECKED BY: JCK  
PROJECT MANAGER: SPM

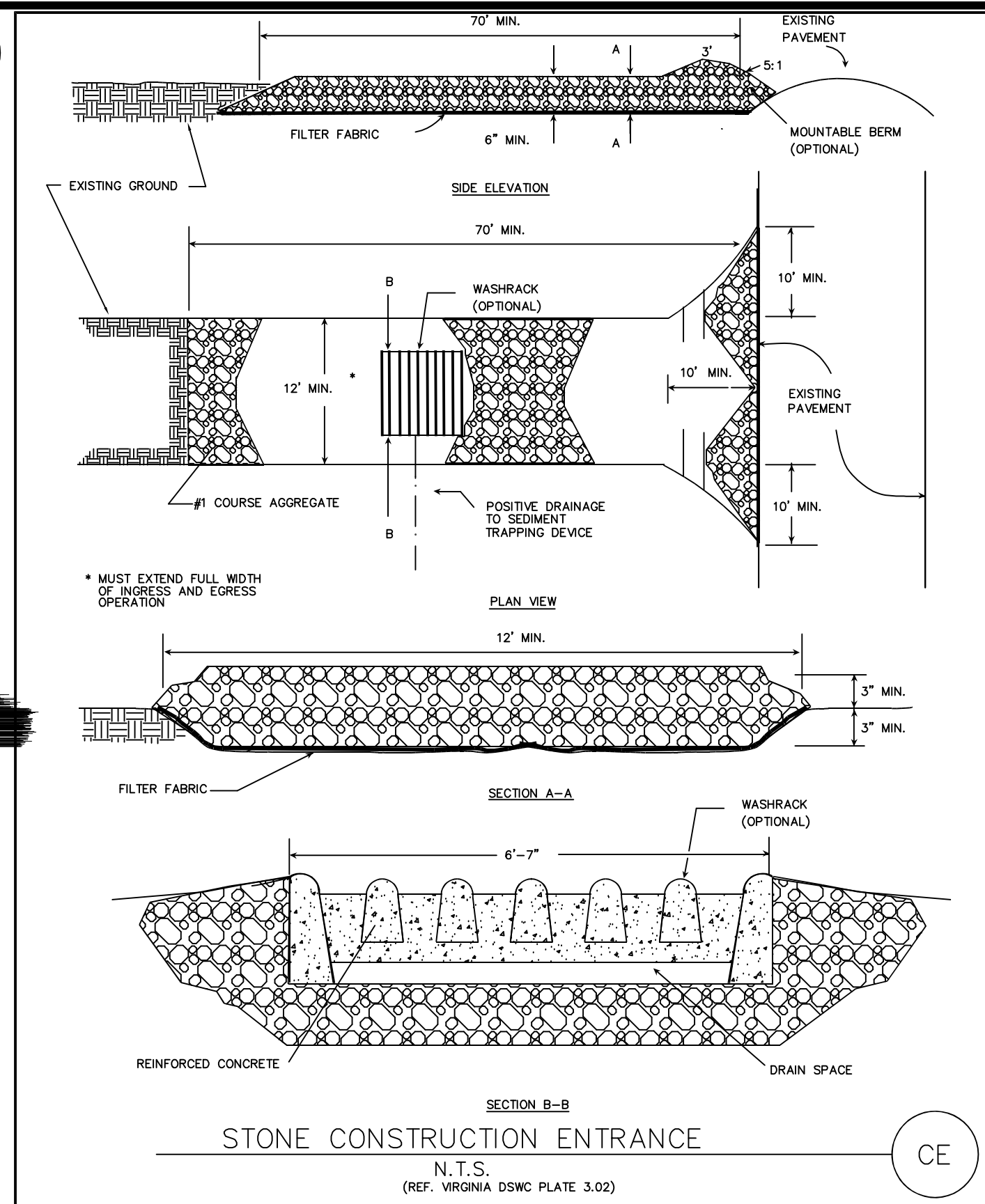
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SCALE: NTS  
DATE: 04-25-25  
TITLE SHEET & VICINITY MAP  
SHEET: C-000



**CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)**

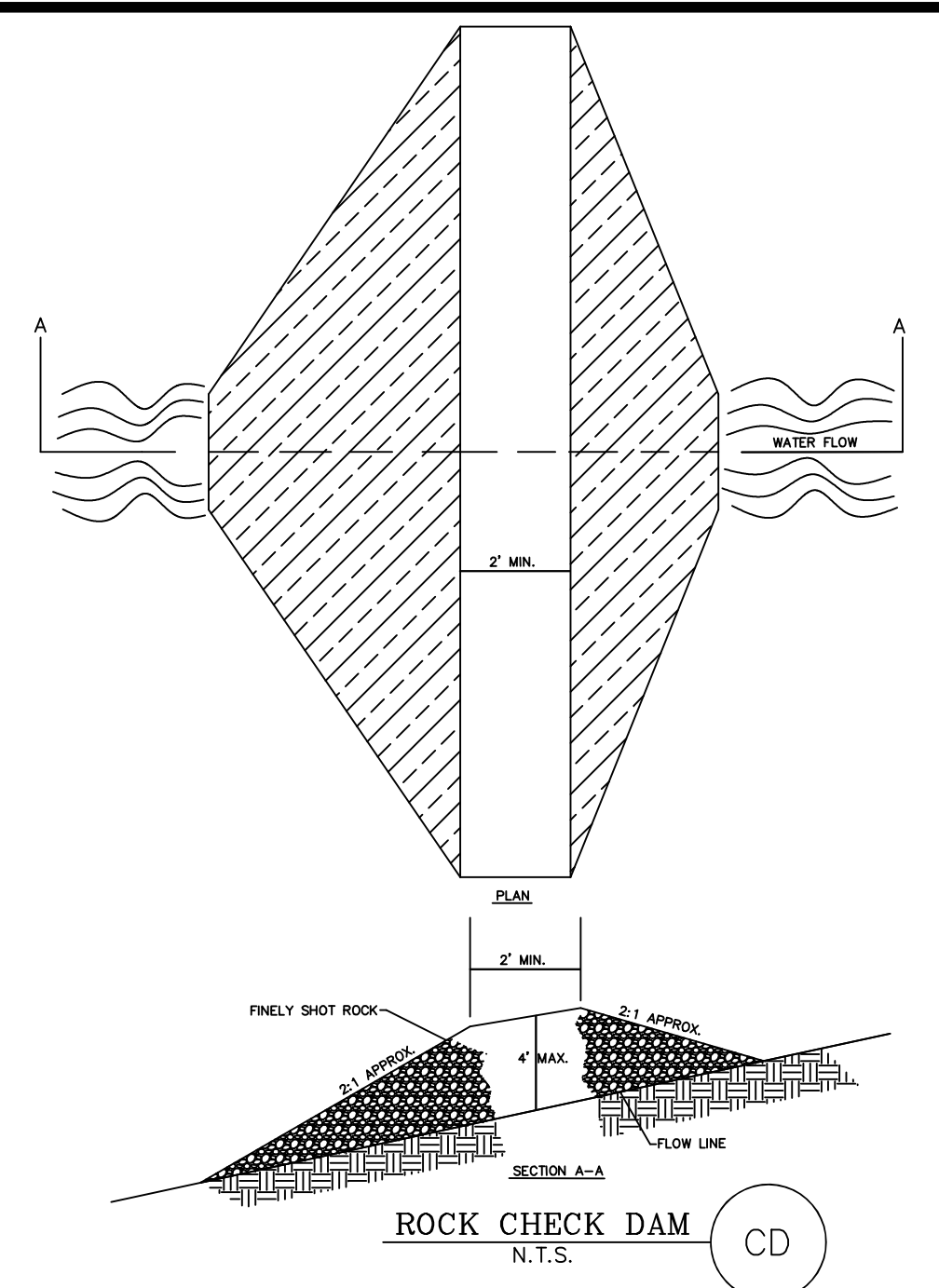


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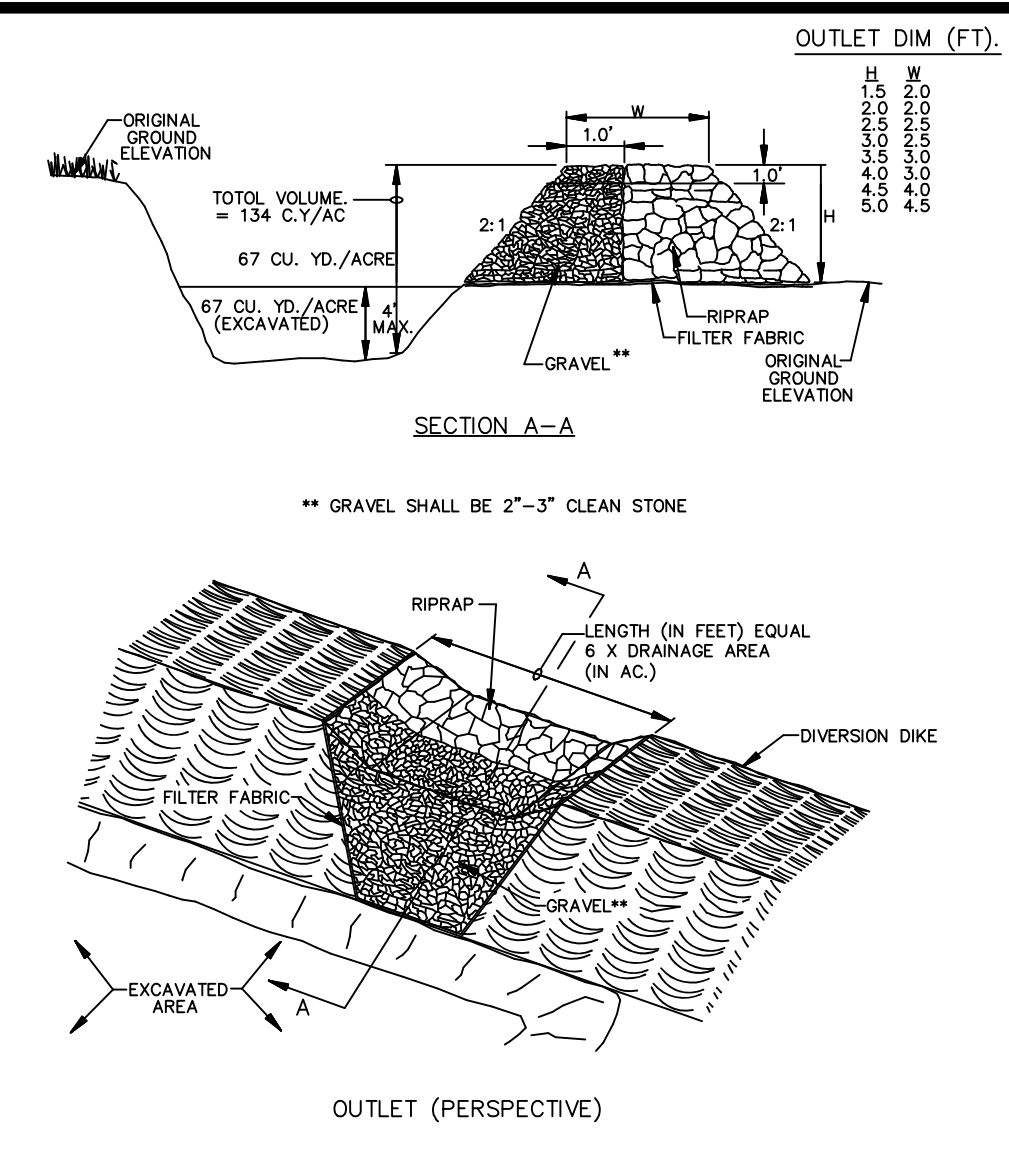
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REVISION BY DATE  
 SANITATION DISTRICT NO. 1  
 1045 Eaton Drive  
 Ft. Wright, Kentucky 41017  
 Ph: (859) 578-7460  
 Fax: (859) 331-2436  
 DATE: JAN. 2, 2009  
 STANDARD DRAWING NO. 252



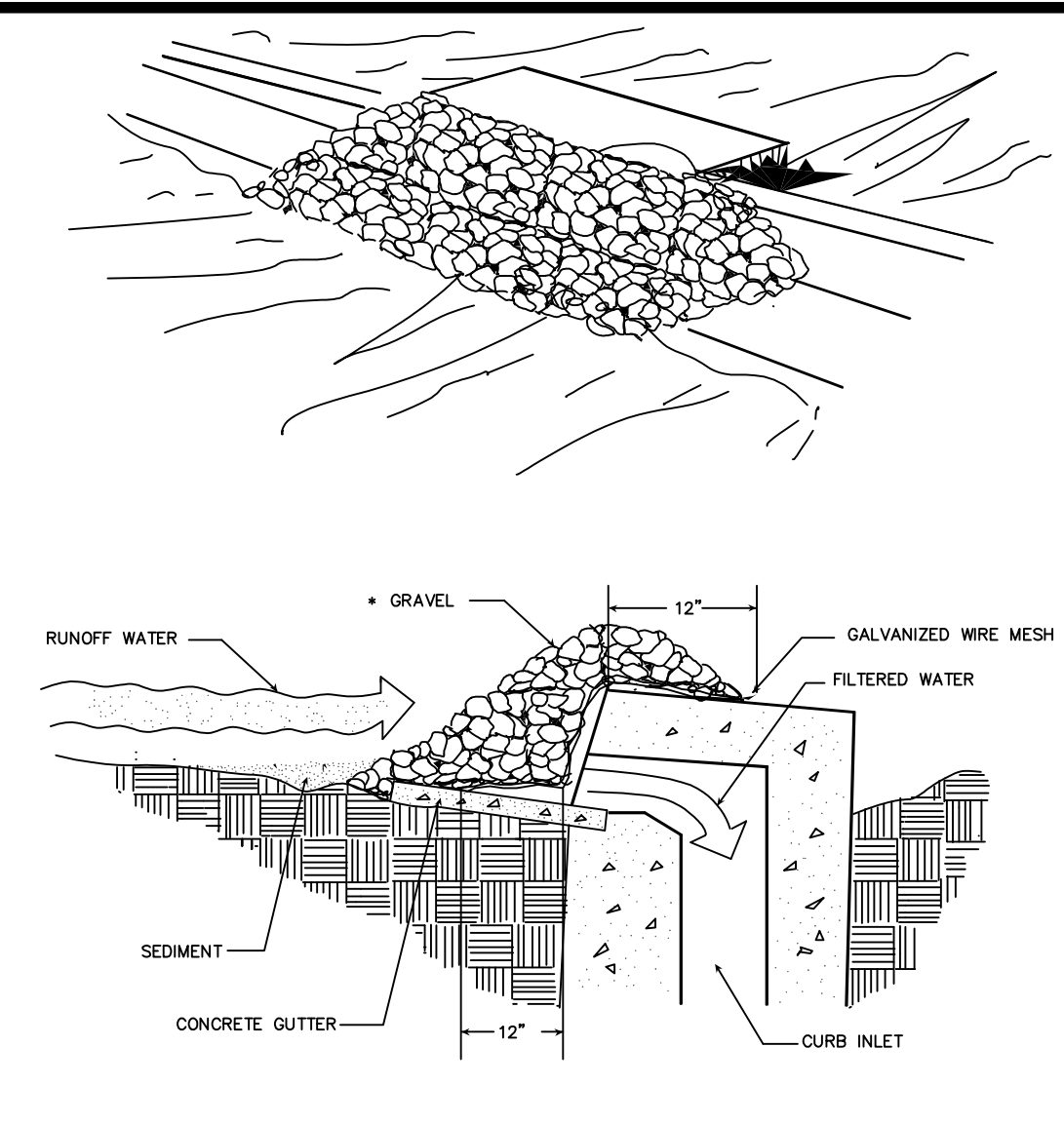
ROCK CHECK DAM  
 N.T.S.

CD



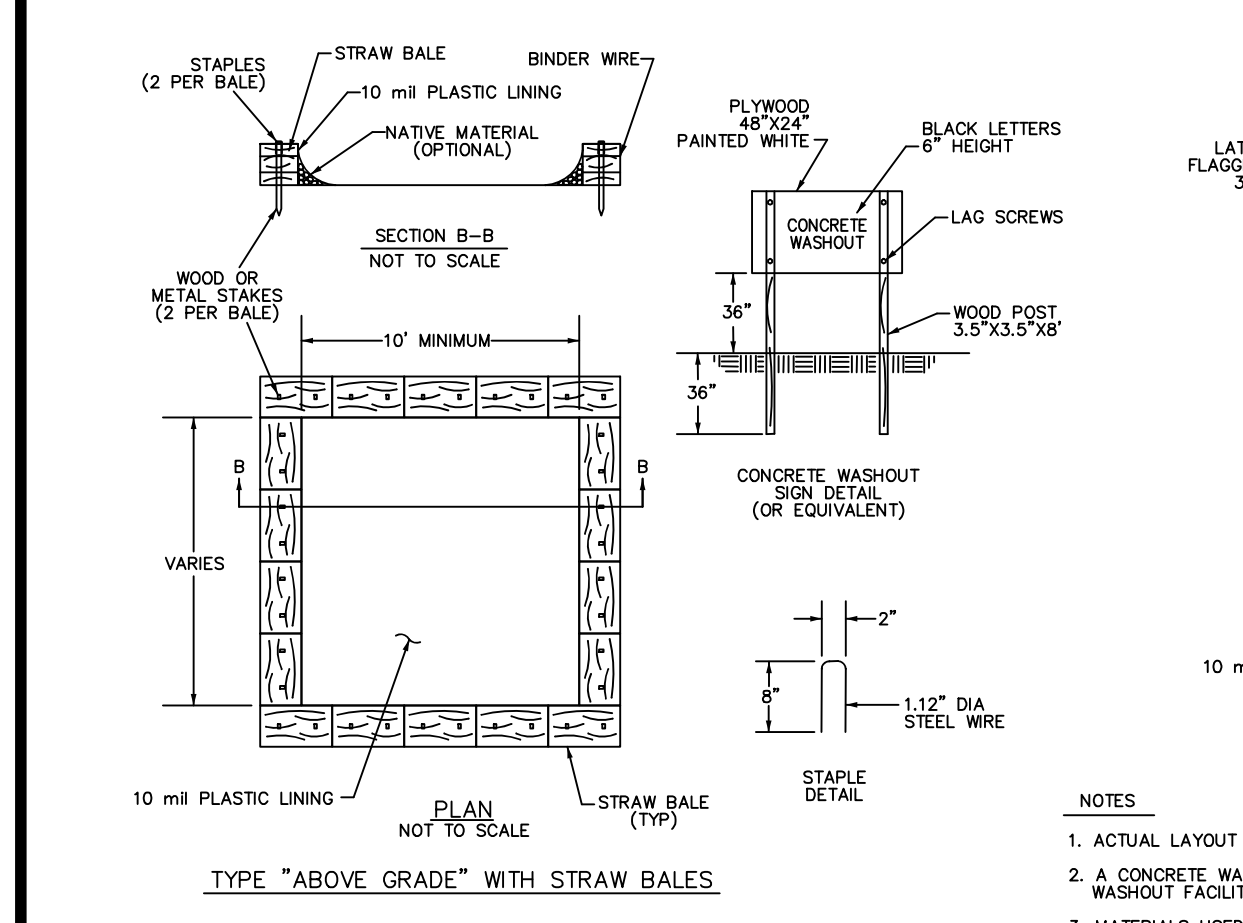
TEMPORARY SEDIMENT TRAP  
 N.T.S.

ST



GRAVEL CURB INLET SEDIMENT FILTER  
 N.T.S.

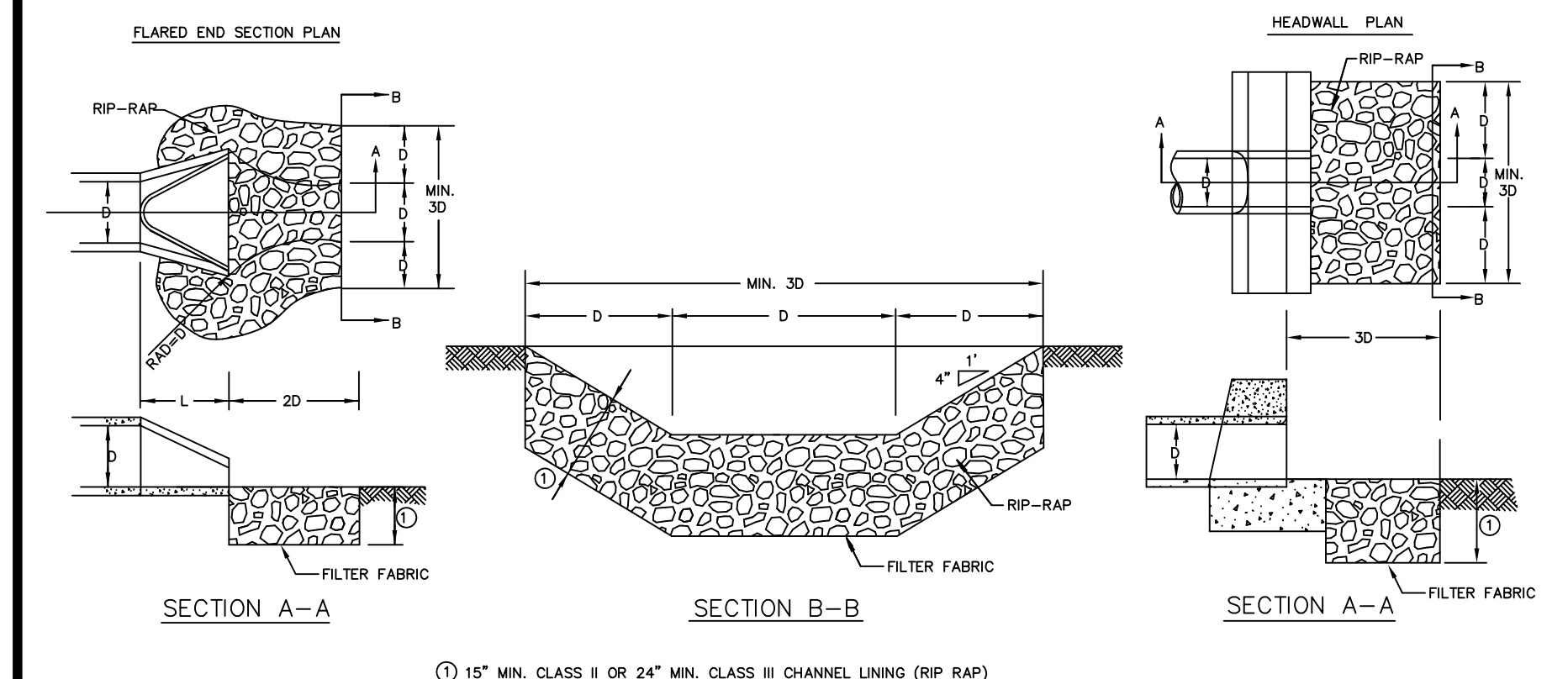
JP1



- NOTES:  
 1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.  
 2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.  
 3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.  
 4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

CONCRETE WASHOUT  
 N.T.S.

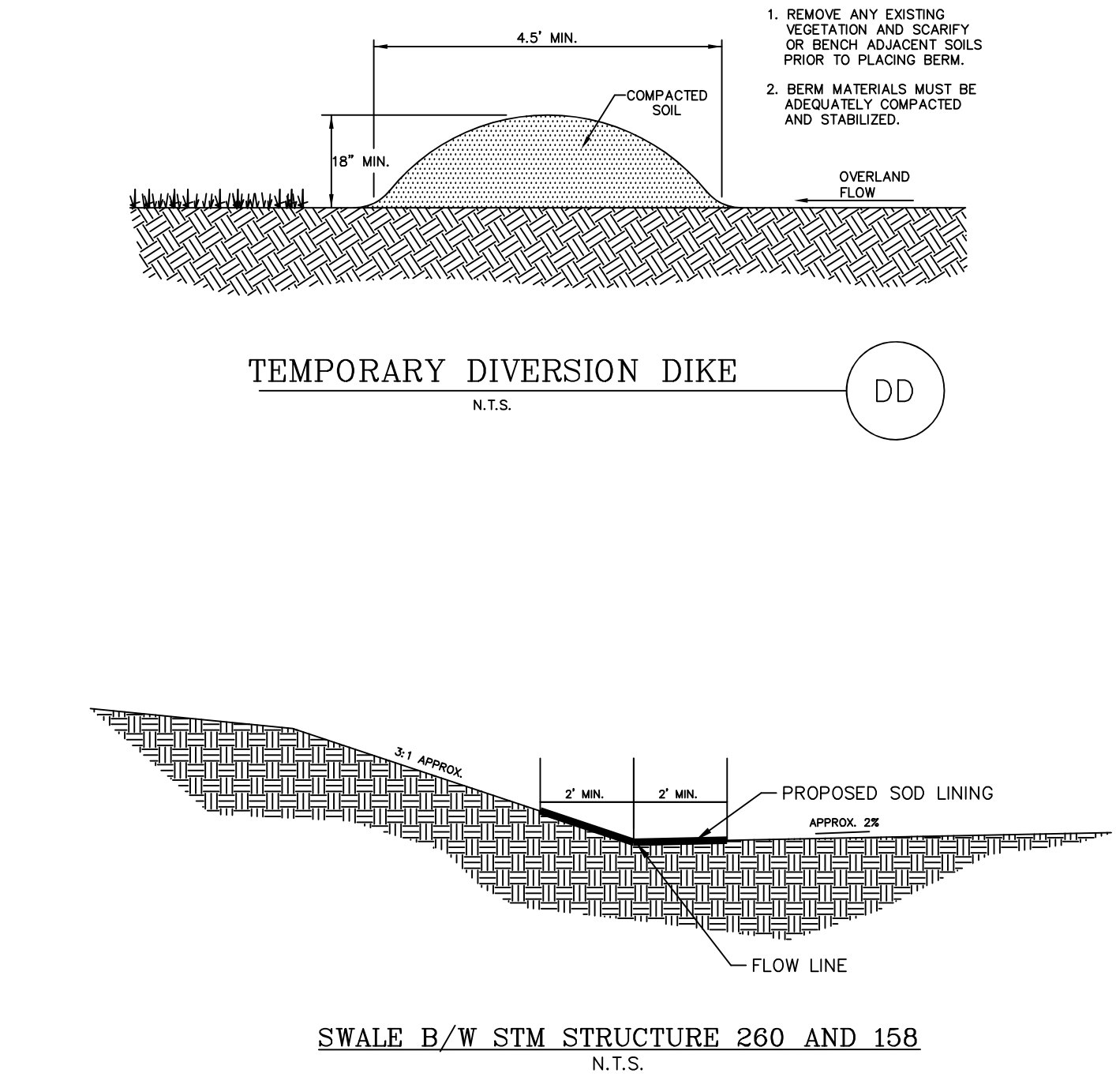
OP1



DISCHARGE AREA EROSION CONTROL DETAIL  
 N.T.S.

OP1

OUTLET STONE SIZE (INCHES)	LENGTH (FEET)	WIDTH (FEET)	DEPTH (INCHES)
100	12	15	12
150	6	10	9
200	6	10	9
250	6	10	9
300	6	10	9
350	6	10	9
400	6	10	9
450	6	10	9
500	6	10	9
550	6	10	9
600	6	10	9
650	6	10	9
700	6	10	9
750	6	10	9
800	6	10	9
850	6	10	9
900	6	10	9
950	6	10	9
1000	6	10	9



TEMPORARY DIVERSION DIKE  
 N.T.S.

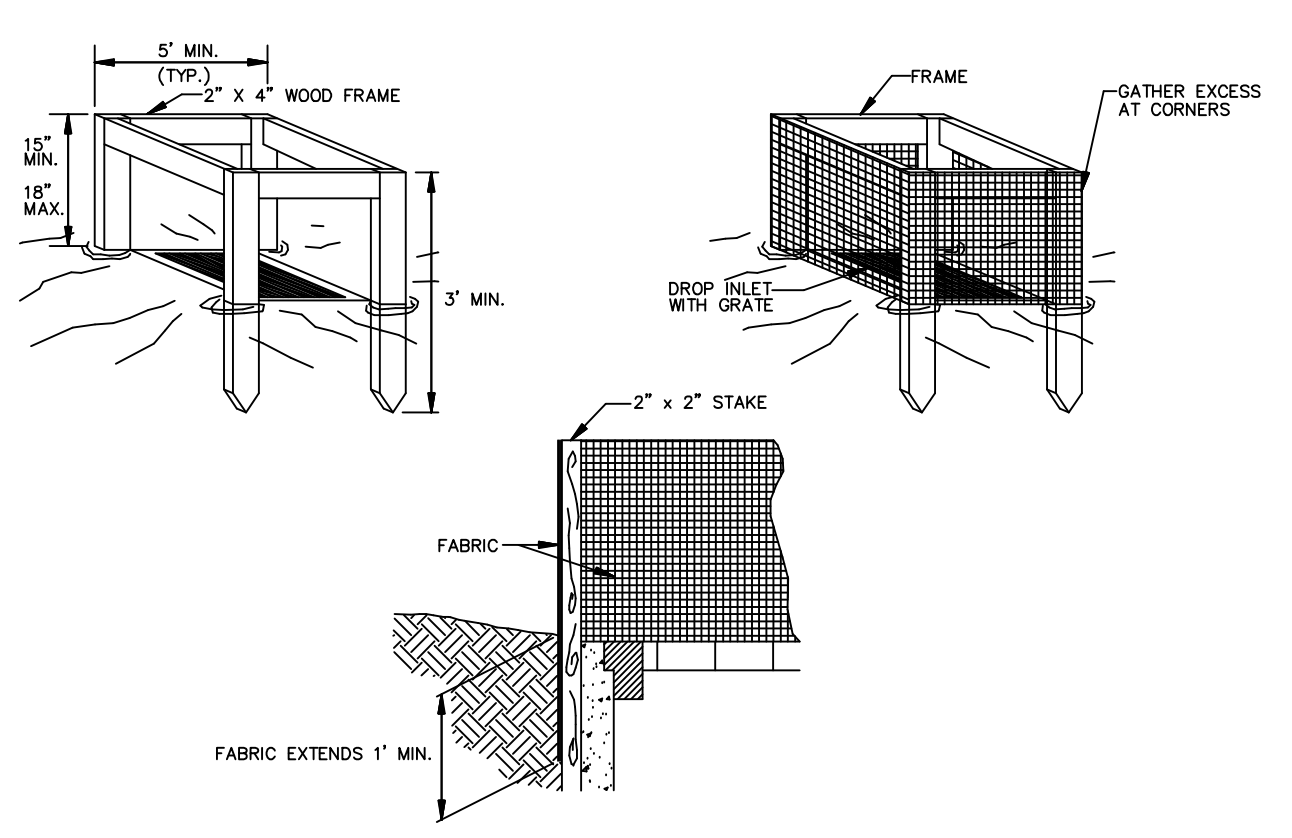
DD

A.) LOT GRADING: DRAINAGE DIRECTED TOWARD FRONT OF DWELLING

B.) LOT GRADING: DRAINAGE DIRECTED TOWARD REAR OF DWELLING

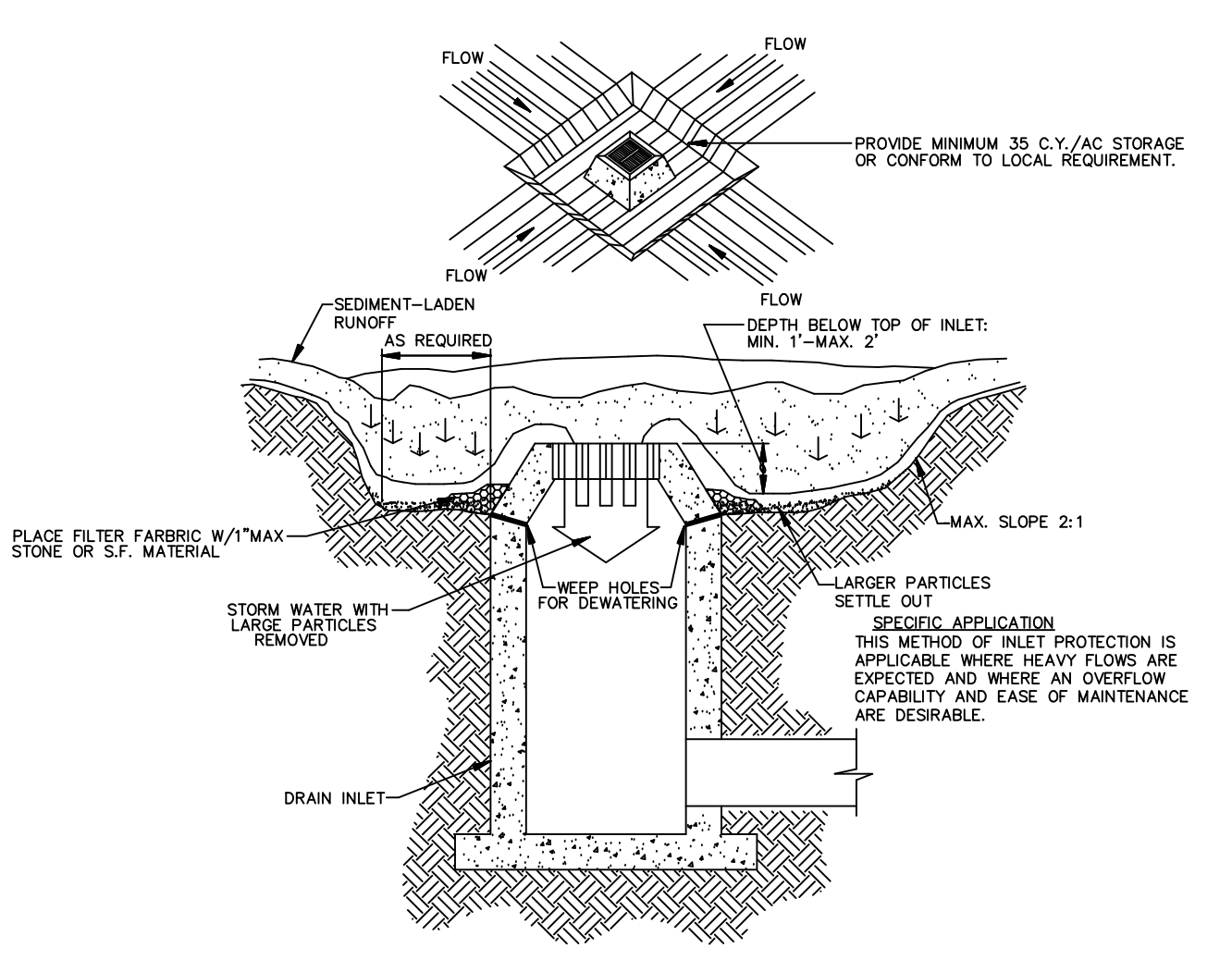
C.) LOT GRADING: DRAINAGE DIRECTED TOWARD FRONT & REAR OF DWELLING

THREE BASIC GRADING SCHEMES  
 N.T.S.



SILT FENCE INLET PROTECTION  
 N.T.S.

IP6



EXCAVATED INLET SEDIMENT TRAP  
 N.T.S.

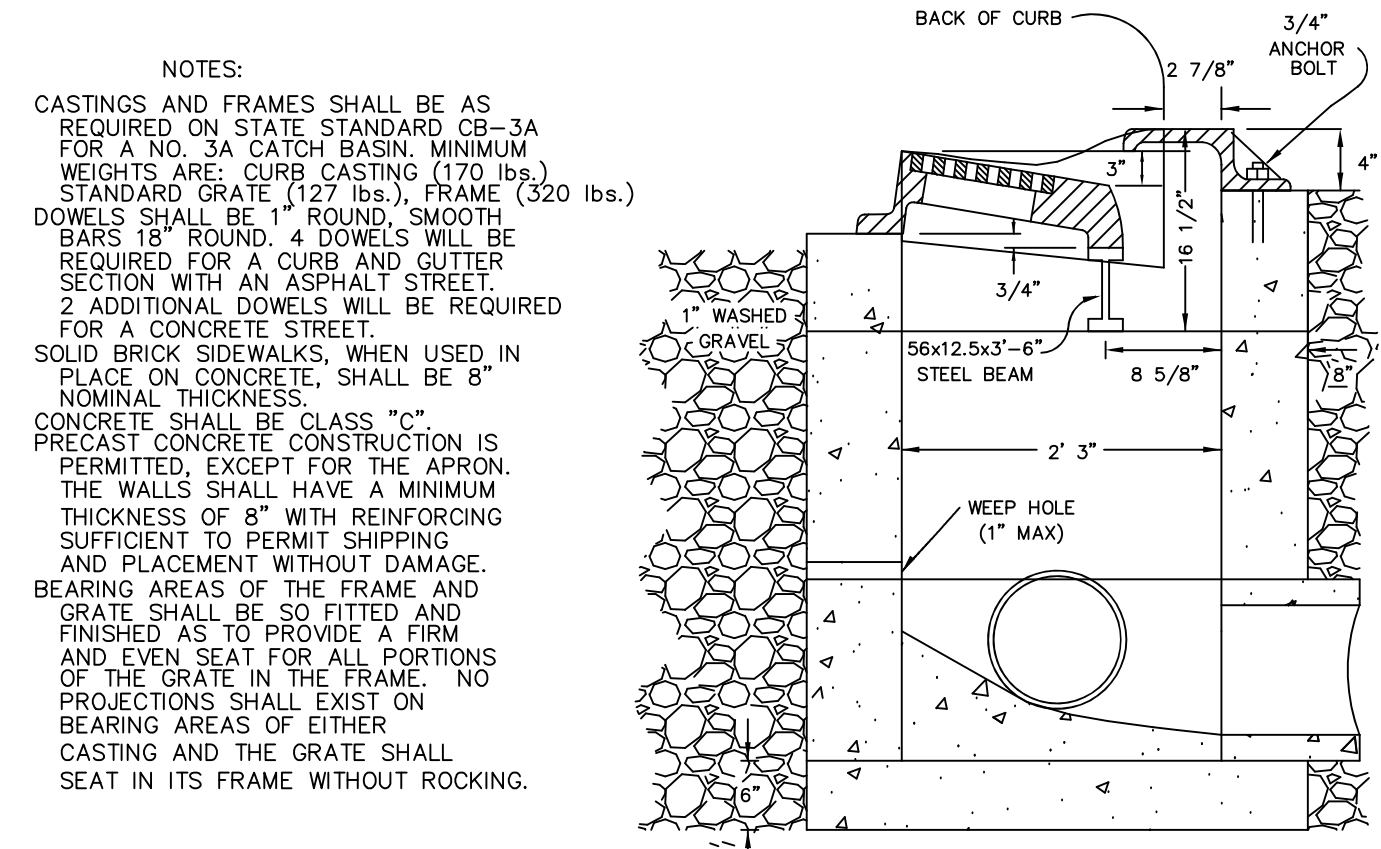
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REVISIONS	DATE	#	ITEM
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	05/19/25	2	DESIGN PLAN REVISIONS

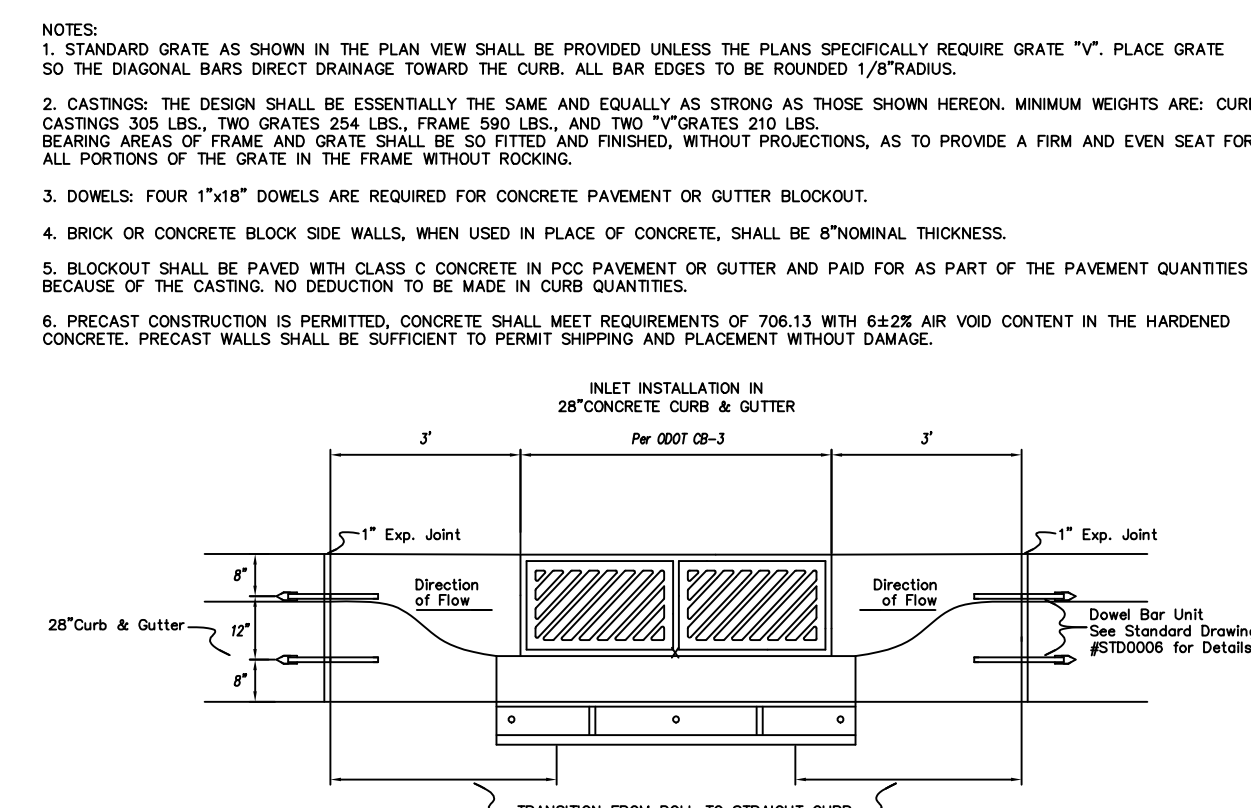
**CARDINAL**  
 ENGINEERING  
 ARCHITECTURE  
 LAND SURVEYING  
 ONE MOORE ROAD  
 WILDER, KENTUCKY 41071  
 PHONE: (859) 581-9600  
 FAX: (859) 581-9636  
 WEBSITE: <http://www.cardinalengineering.net>

PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
 CLERMONT COUNTY DESIGN PLANS  
 CLERMONT COUNTY, OHIO  
 DARBY M.S. #2038  
 BATAVIA & UNION TOWNSHIP, CLERMONT COUNTY, OHIO  
 CLIENT: MER LAND DEVELOPMENT, LLC  
 P.O. BOX 43121  
 CINCINNATI, OHIO 45243

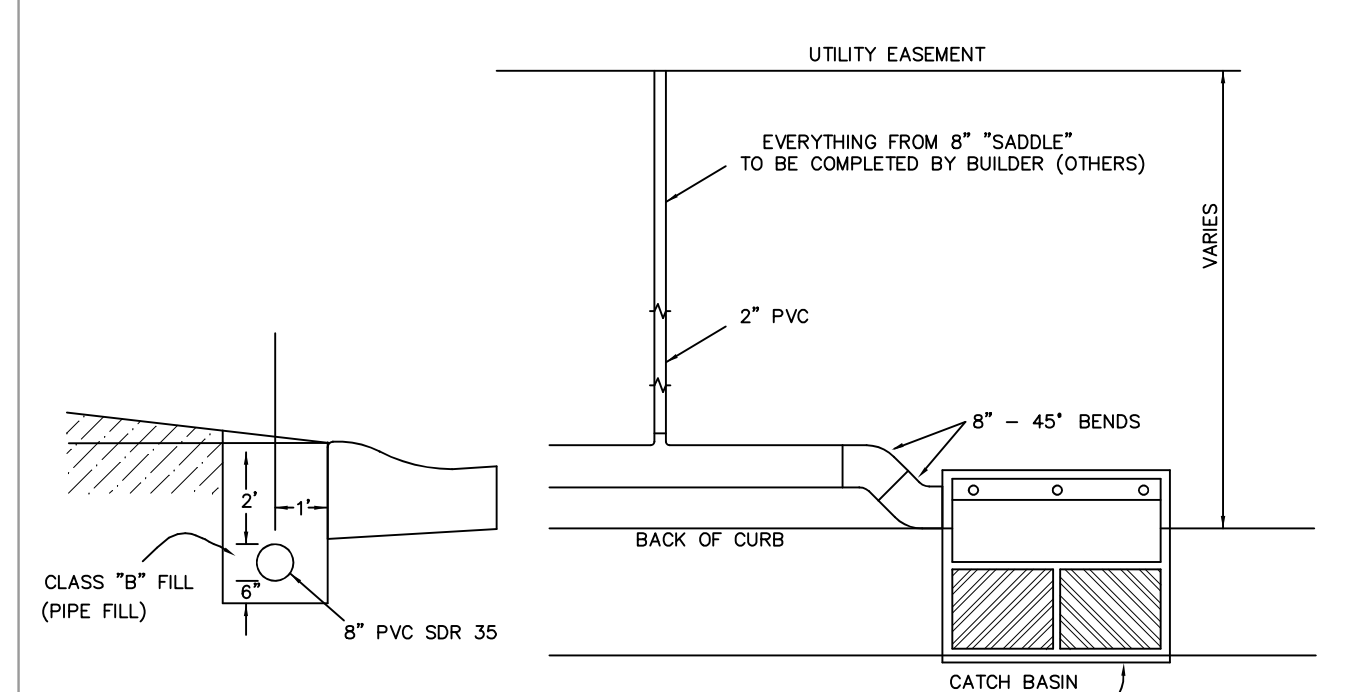
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 CHECKED BY: JCK  
 PROJECT MANAGER: SFM  
 PROJECT NO. 24-185  
 SCALE 1"=50' HORZ 1"=10' VERT  
 DATE: 04-25-25  
 SEDIMENT AND EROSION CONTROL DETAILS  
 SHEET: C-200



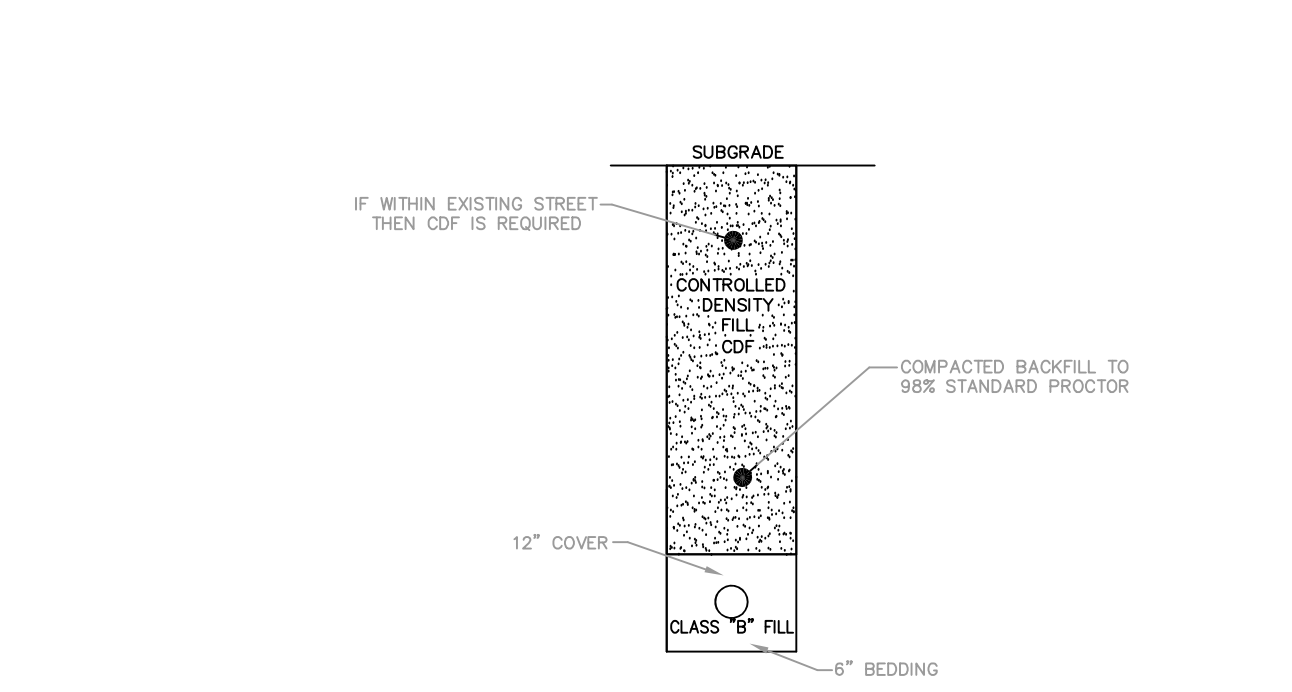
CATCH BASIN NO. 3  
STD0024A



CATCH BASIN NO. 3



SUMP PUMP COLLECTOR LINE

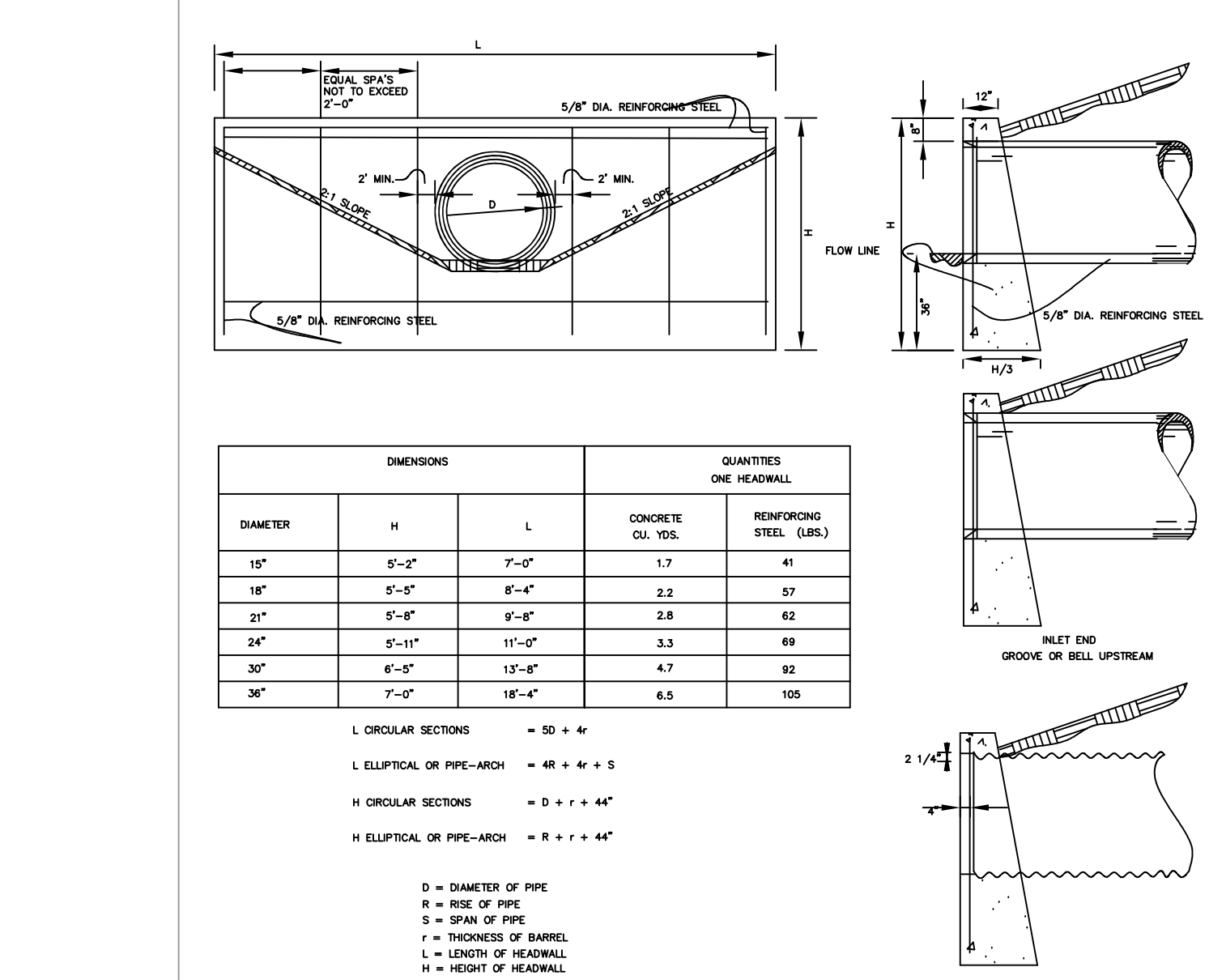


TRENCH BACKFILL FOR STORM SEWER CDF  
WITHIN EXISTING STREET

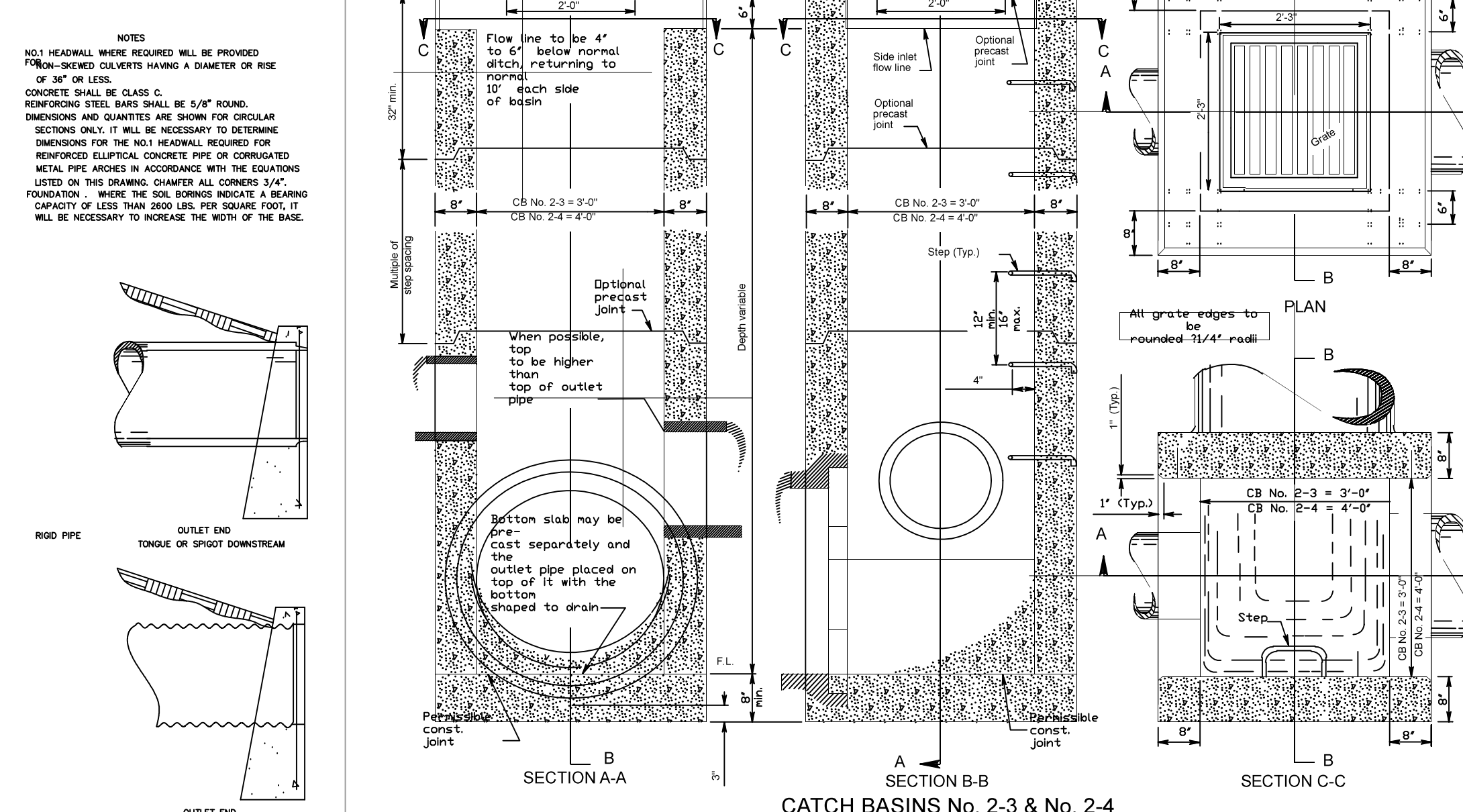
REVISIONS		
DATE	#	ITEM
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WEBSITE: <http://www.cardinalengineering.net>



HEADWALLS HW-1

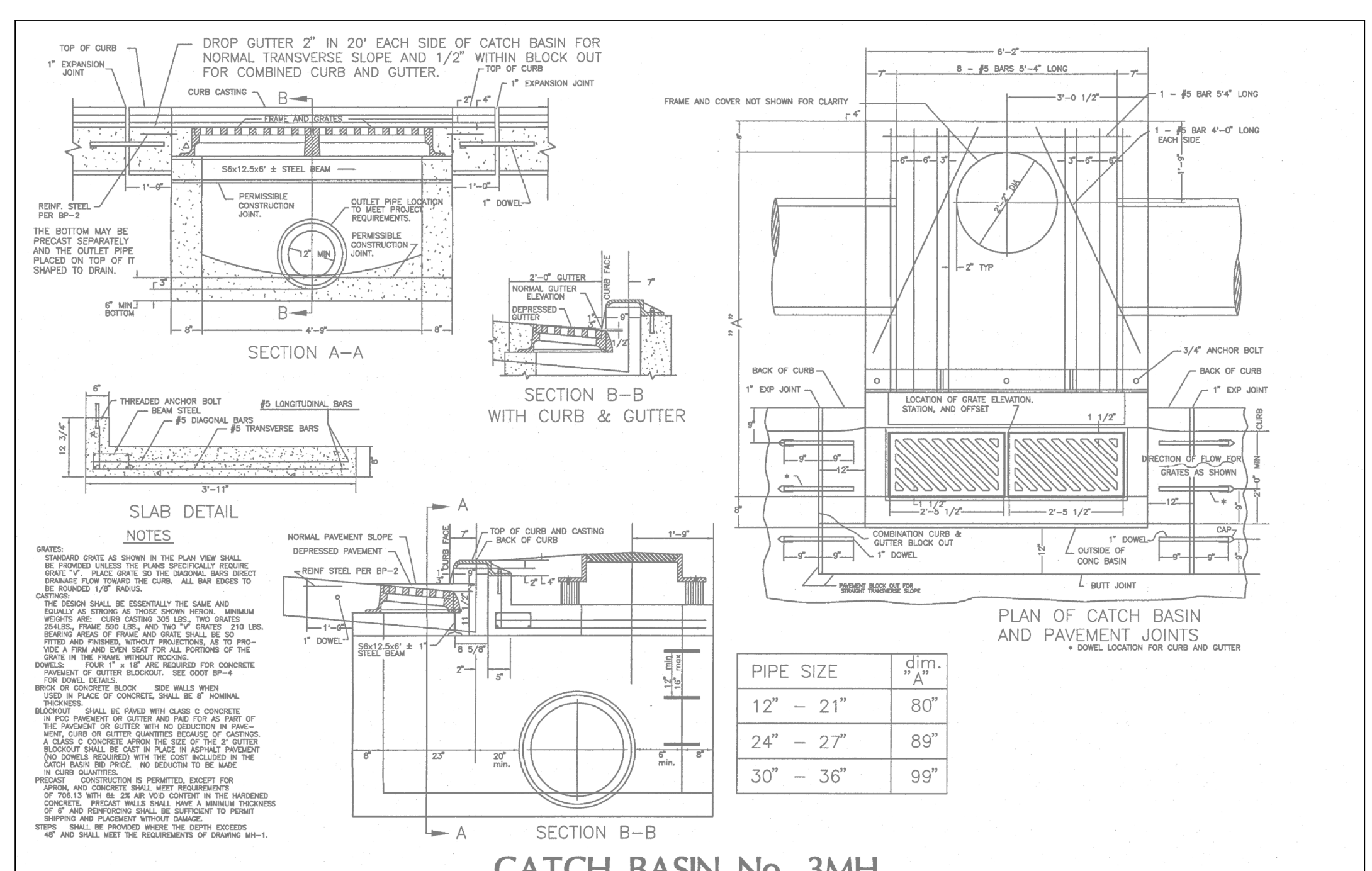


CATCH BASINS 2-3 AND 2-4  
SCALE: NTS

DIMENSIONS		QUANTITIES ONE HEADWALL	
DIAMETER	IN	CONCRETE CU. YDS.	REINFORCING BARS (LBS.)
12"	9'-0"	1.2	41
18"	9'-0"	2.2	87
24"	9'-0"	3.8	82
30"	9'-0"	5.2	89
36"	9'-0"	6.7	89
42"	9'-0"	8.3	105

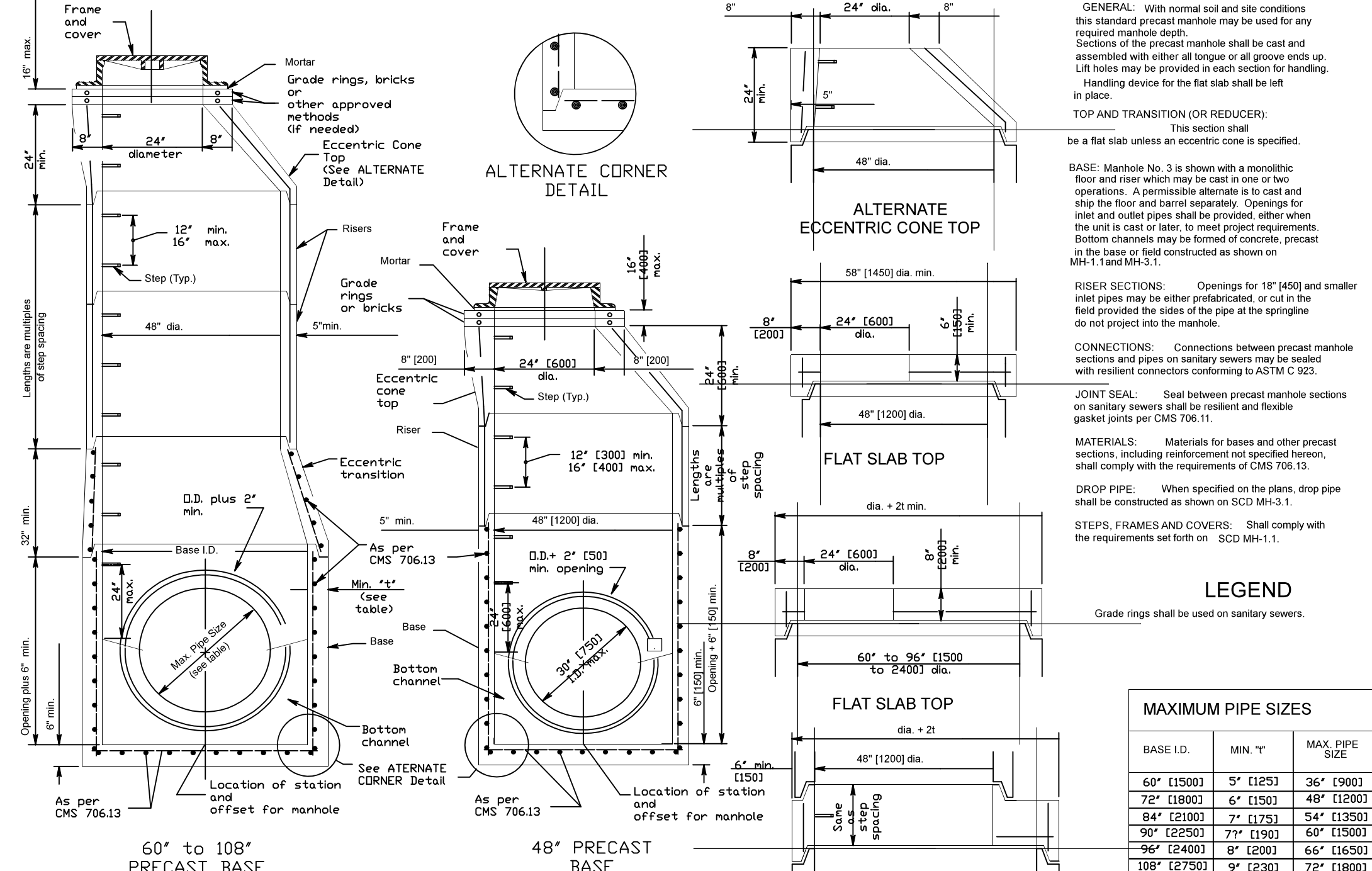
L = CIRCULAR SECTIONS = 10 + 4'  
L = ELIPTICAL OR PIPE-ARCH = 40 + 4 + 5'  
H = CIRCULAR SECTIONS = D + 4 + 4'  
H = ELIPTICAL OR PIPE-ARCH = 8 + 4 + 4'

D = DIAMETER OF PIPE  
R = RADIUS OF PIPE  
H = HEIGHT OF HEADWALL  
L = LENGTH OF HEADWALL  
H = HEIGHT OF HEADWALL



CATCH BASIN No. 3MH

PIPE SIZE	MIN. 'A'	MIN. 'B'
12" - 21"	80"	
24" - 27"	89"	
30" - 36"	99"	



MANHOLE No. 3

**NOTES**

GENERAL: With normal soil and site conditions this standard precast manhole may be used for any required manhole depth. Sections of the precast manhole shall be cast and assembled with other all brigs or all grove ends up. Lift holes may be provided in each section for handling.

HANDLING: Handling device for the flat slab shall be left in place.

TOP AND TRANSITION (OR REDUCER): This section shall be a flat slab unless an eccentric cone is specified.

BASE: Manhole No. 3 is shown with a manhole base and base which may be cast in one or two operations. A permissible alternative is to cast and assemble the floor and base separately. Overlap the floor and base pipes shall be provided, either when the unit is cast in place, to meet project requirements. Bottom channels may be formed of concrete, precast in the base of flat constructed as shown on MHD 1806.1.

RESER SECTIONS: Openings for 18" (400) and smaller man pipes may be either precast, or cast in the base of the floor and base separately. Overlap the floor and base pipes shall be provided, either when the unit is cast in place, to meet project requirements. Bottom channels may be formed of concrete, precast in the base of flat constructed as shown on MHD 1806.1.

JOINT SEAL: Seal between precast manhole sections on sanitary manhole shall be provided and flexible gasket joints per CDS 705.11.

MATERIALS: Materials for beams and other precast sections, including reinforcement and specified rebar, shall comply with the requirements of CDS 705.10.

DISCH. PIPE: When specified on the plans, discharge pipe shall be constructed as shown on SCD M-3.1.

STEPS, FRAMES AND COVERS: Shall comply with the requirements set forth on: SCD M-1.1.

LEGEND  
Grade rings shall be used on sanitary sewers.

**MAXIMUM PIPE SIZES**

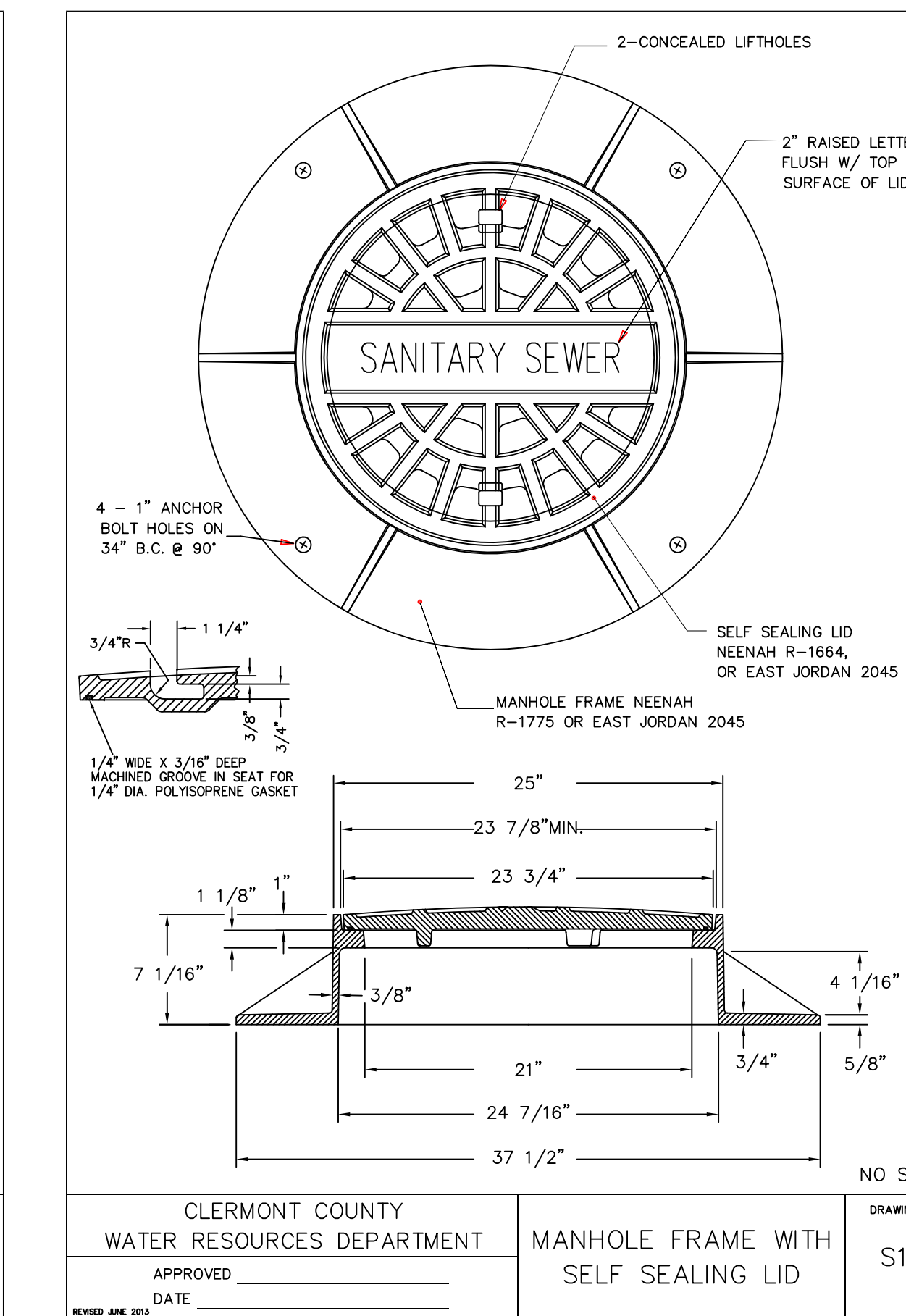
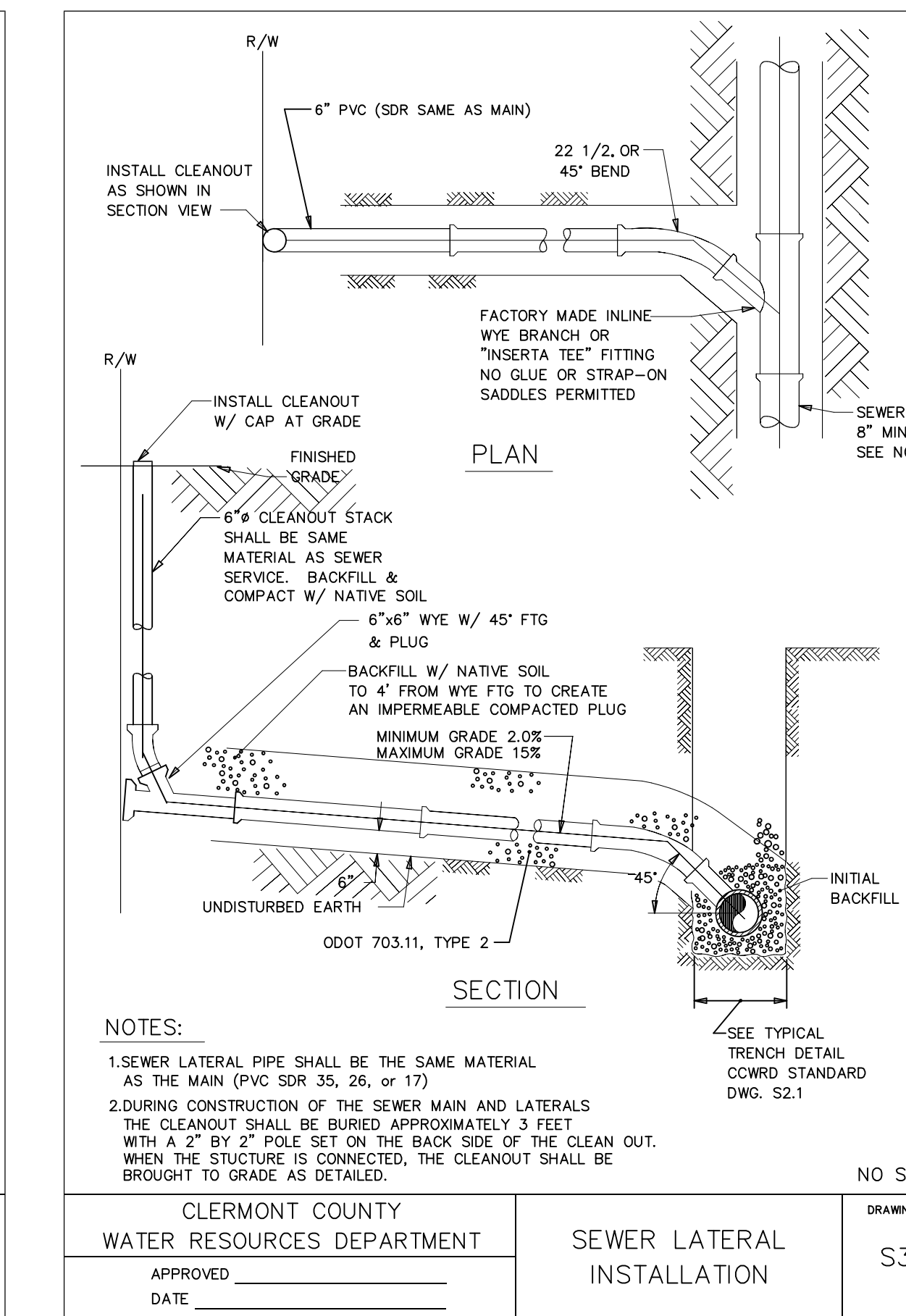
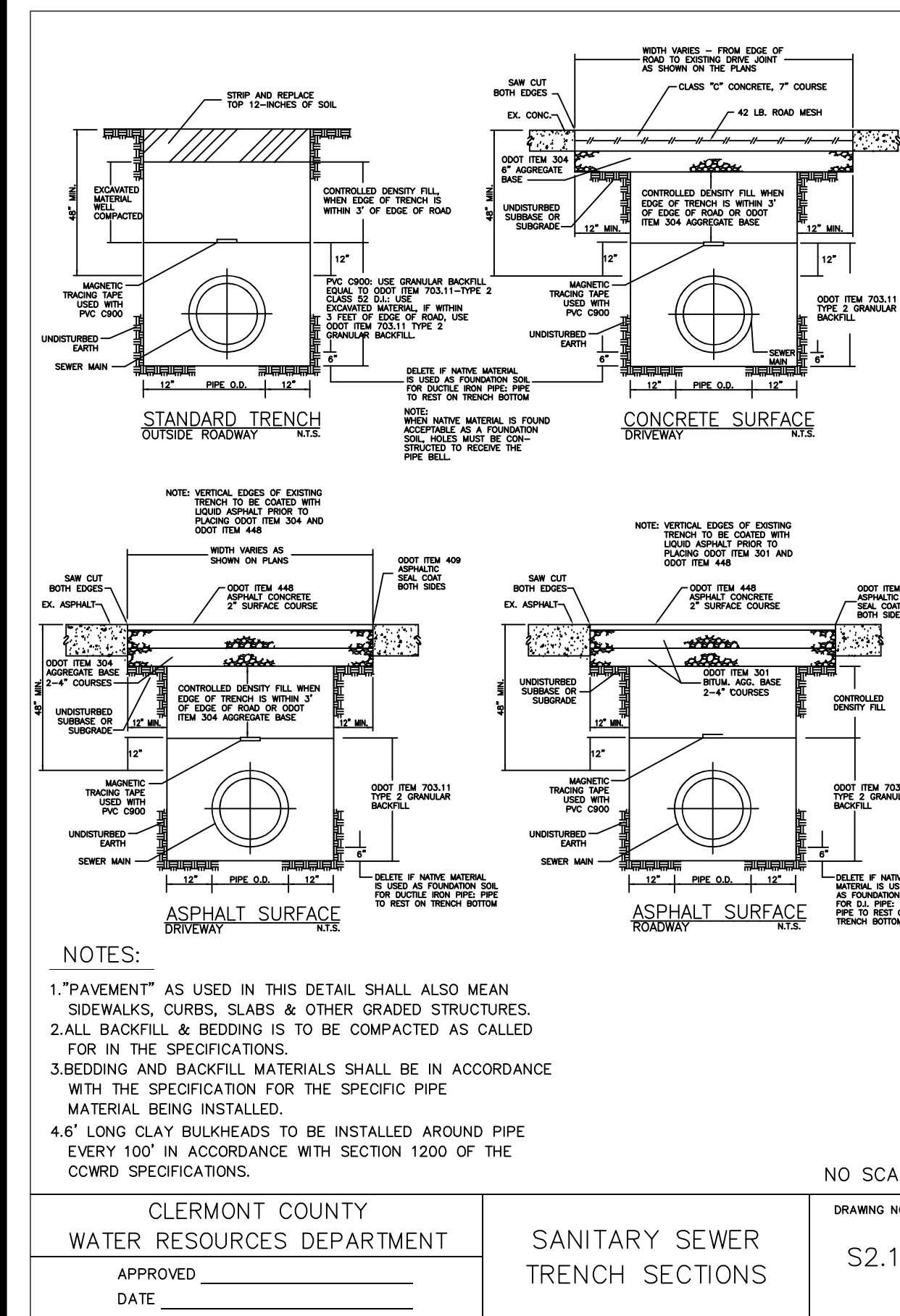
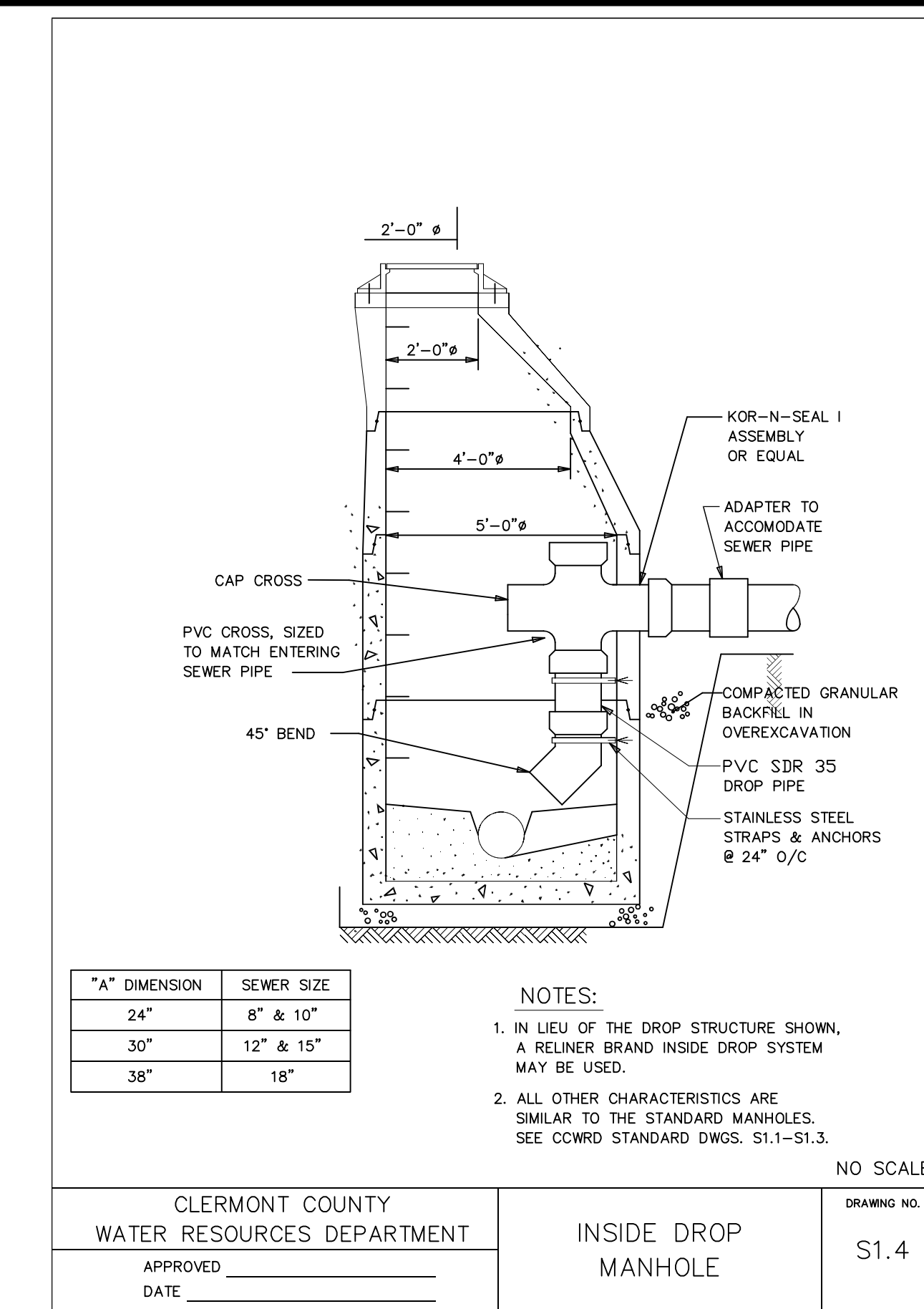
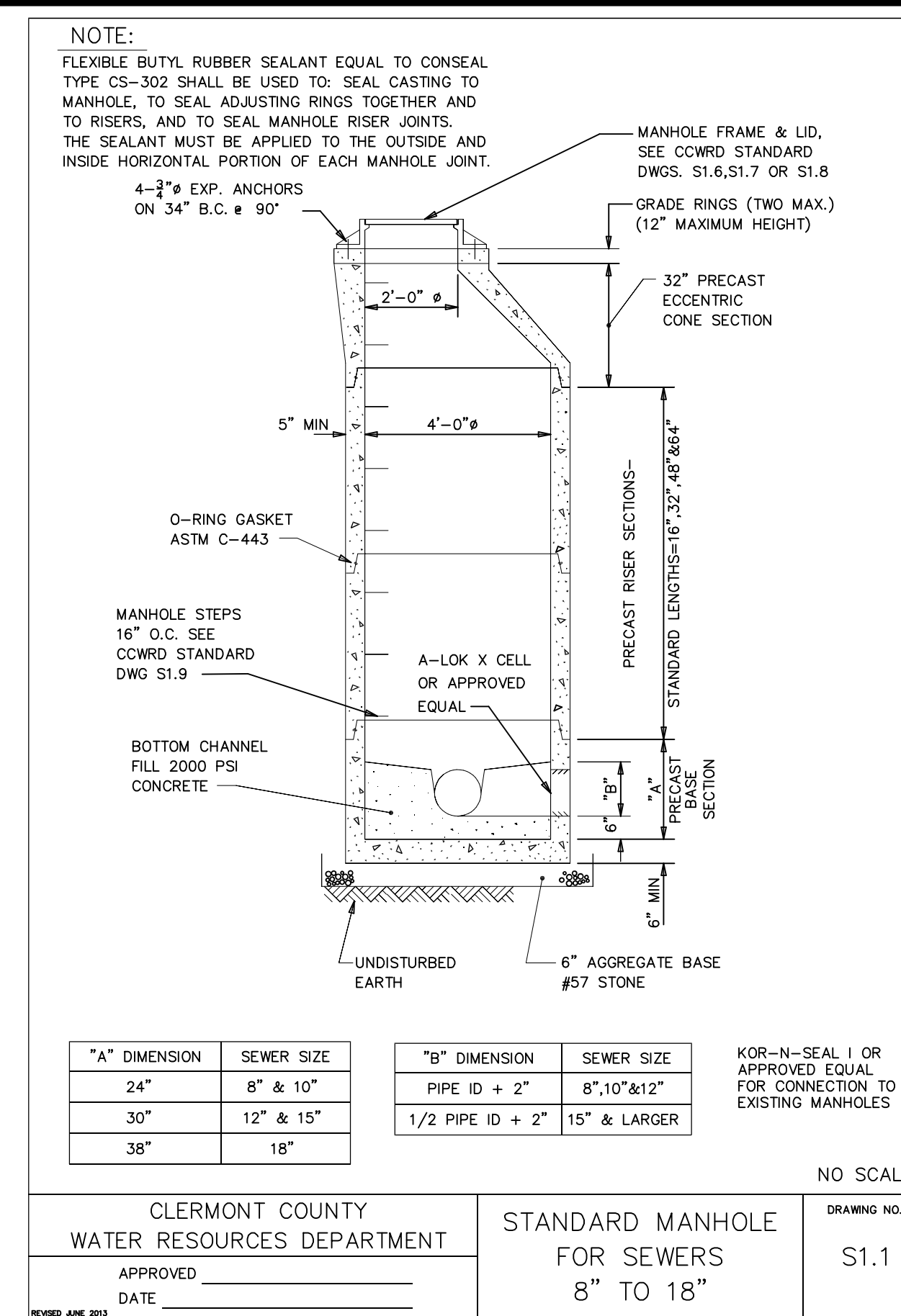
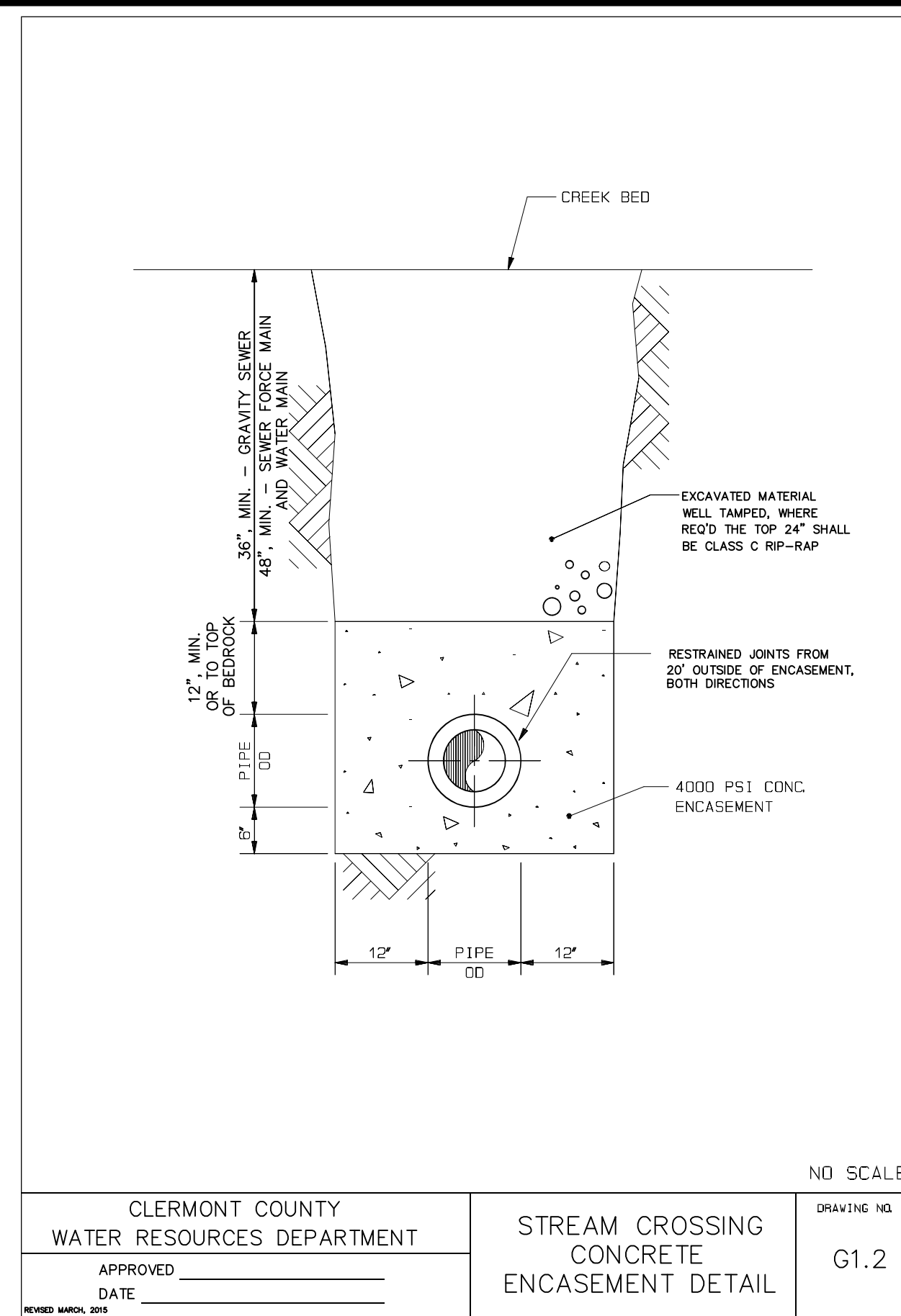
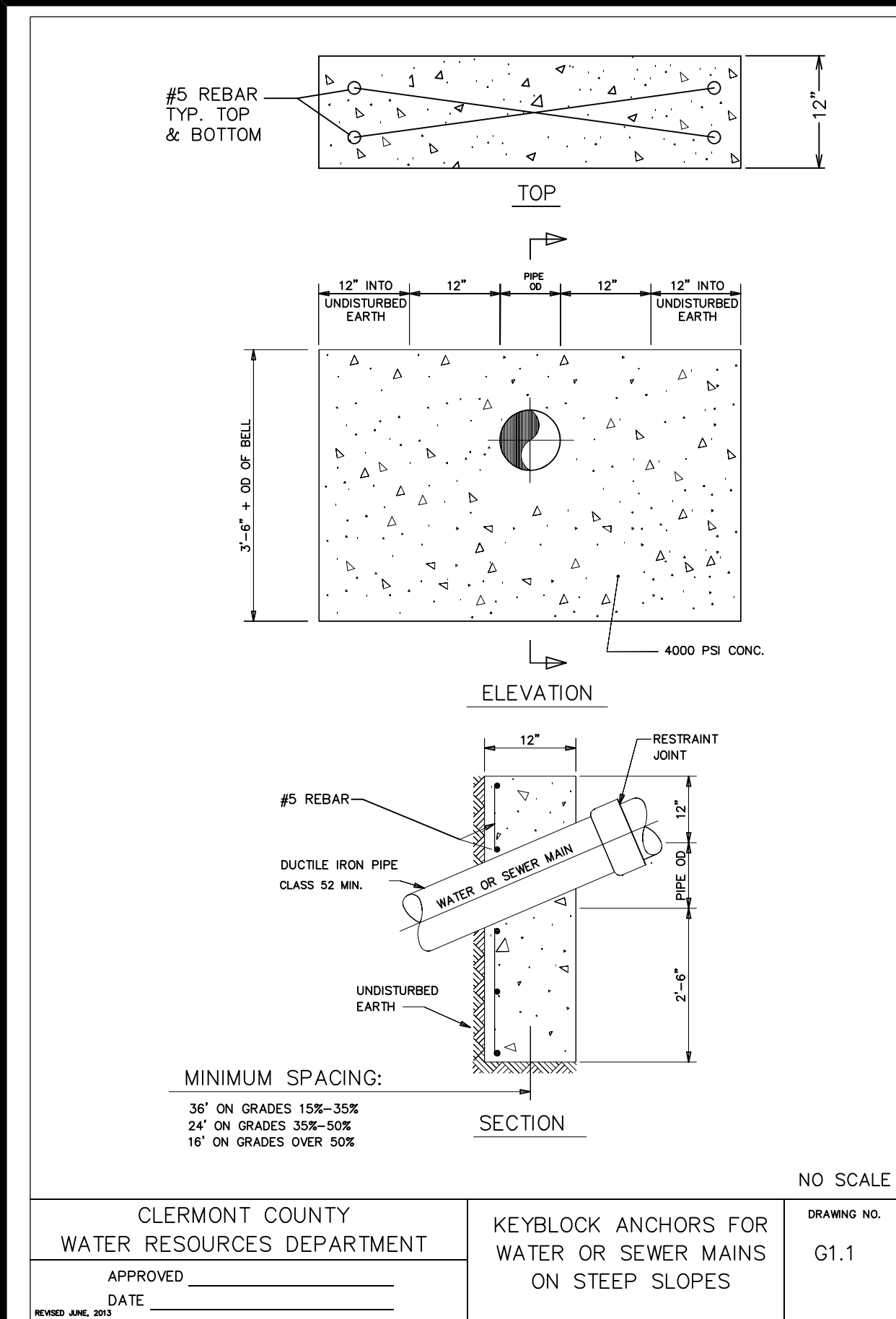
BASE I.D.	MIN. 'T'	MAX. PIPE
60" (1500)	5' (152)	36" (900)
72" (1800)	6' (180)	48" (1200)
84" (2100)	7' (210)	54" (1350)
90" (2250)	7'-2" (218)	60" (1500)
96" (2400)	8' (240)	66" (1650)
108" (2700)	9' (270)	72" (1800)

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DARBY M.S. #2058  
BATAVIA & UNION TOWNS, CLERMONT COUNTY, OHIO

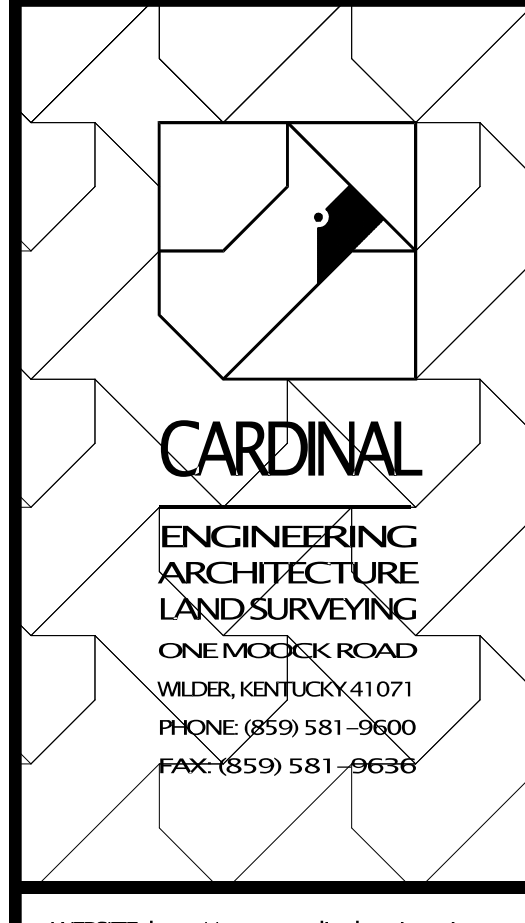
CUSTOMER: MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY:	SEAL
CHECKED BY:	
PROJECT MANAGER:	SPM

PROJECT NO. 24-185  
SCALE 1"=50' HORZ 1"=10' VERT  
DATE 04-25-25  
STORM DETAILS  
SHEET C-210



REVISIONS	DATE	#	ITEM
	05/16/25	1	DESIGN PLAN REVISIONS
	05/19/25	2	DESIGN PLAN REVISIONS

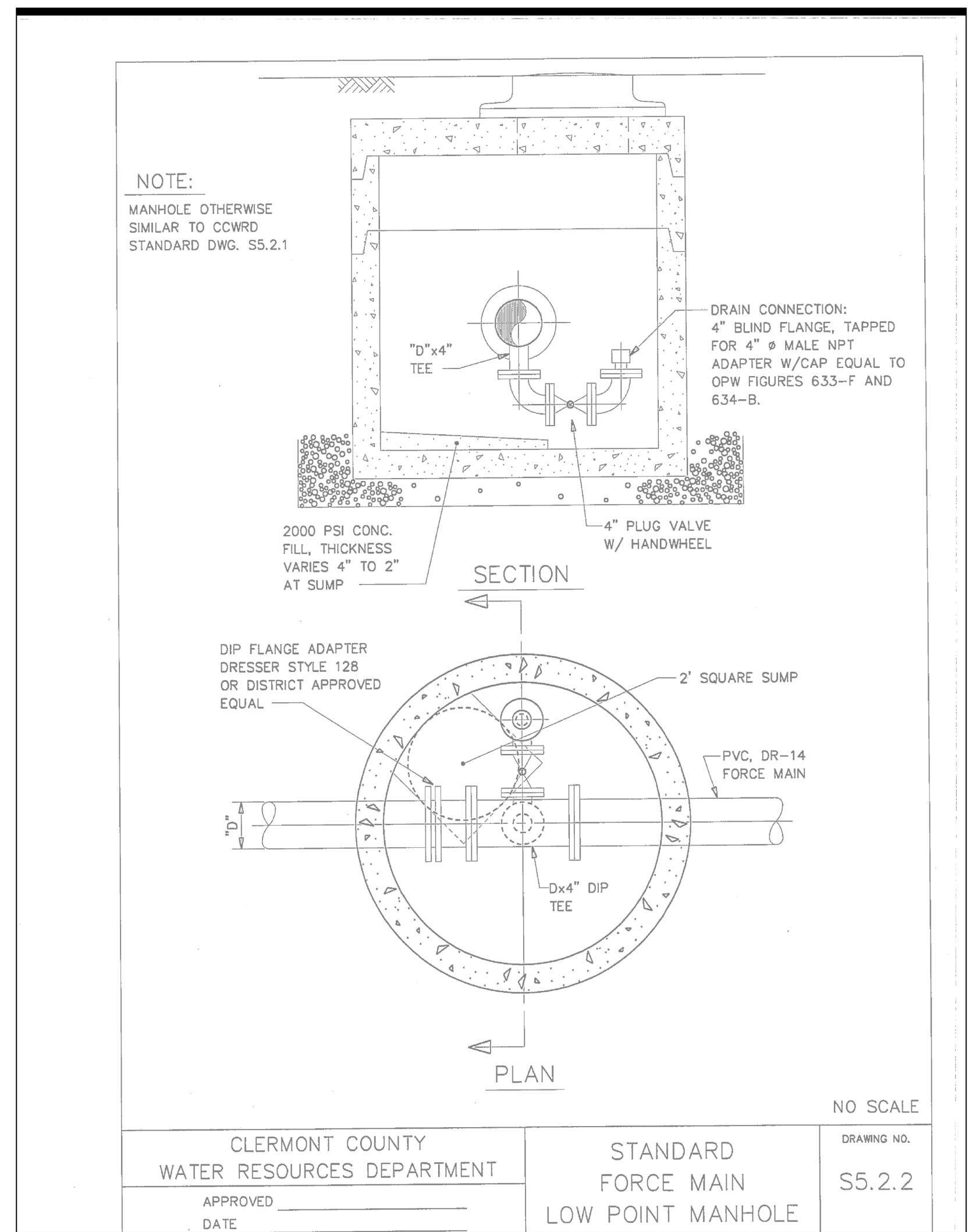
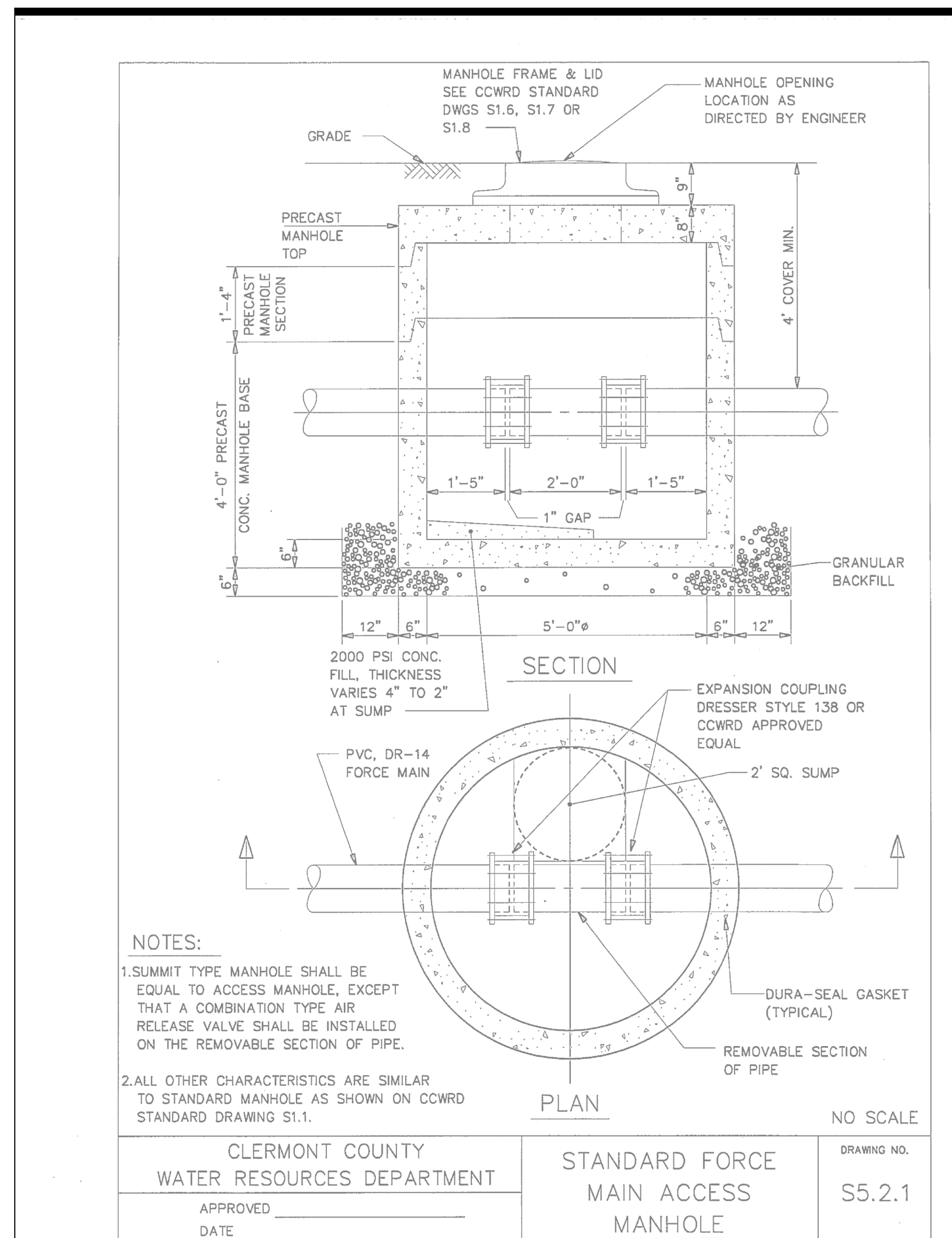
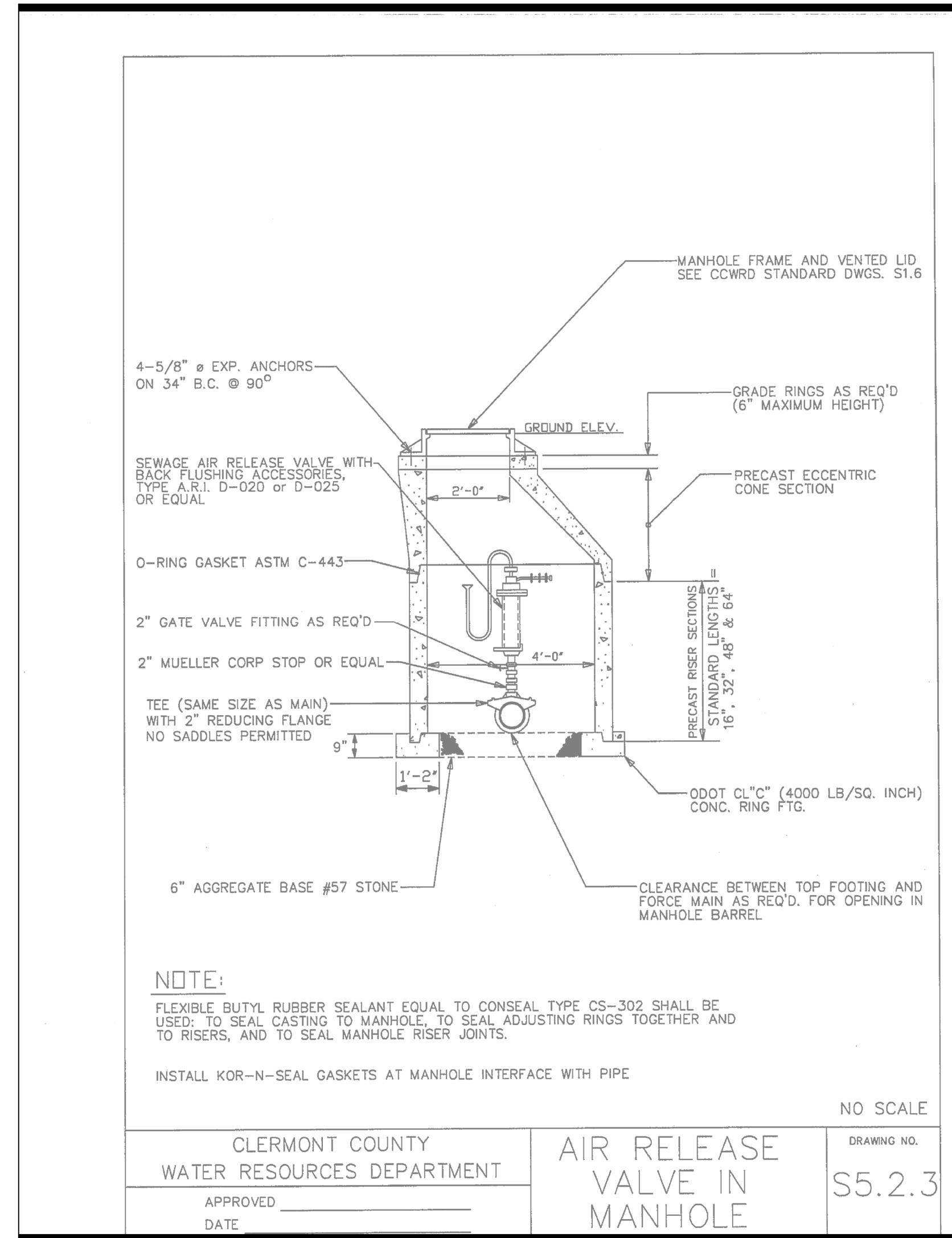
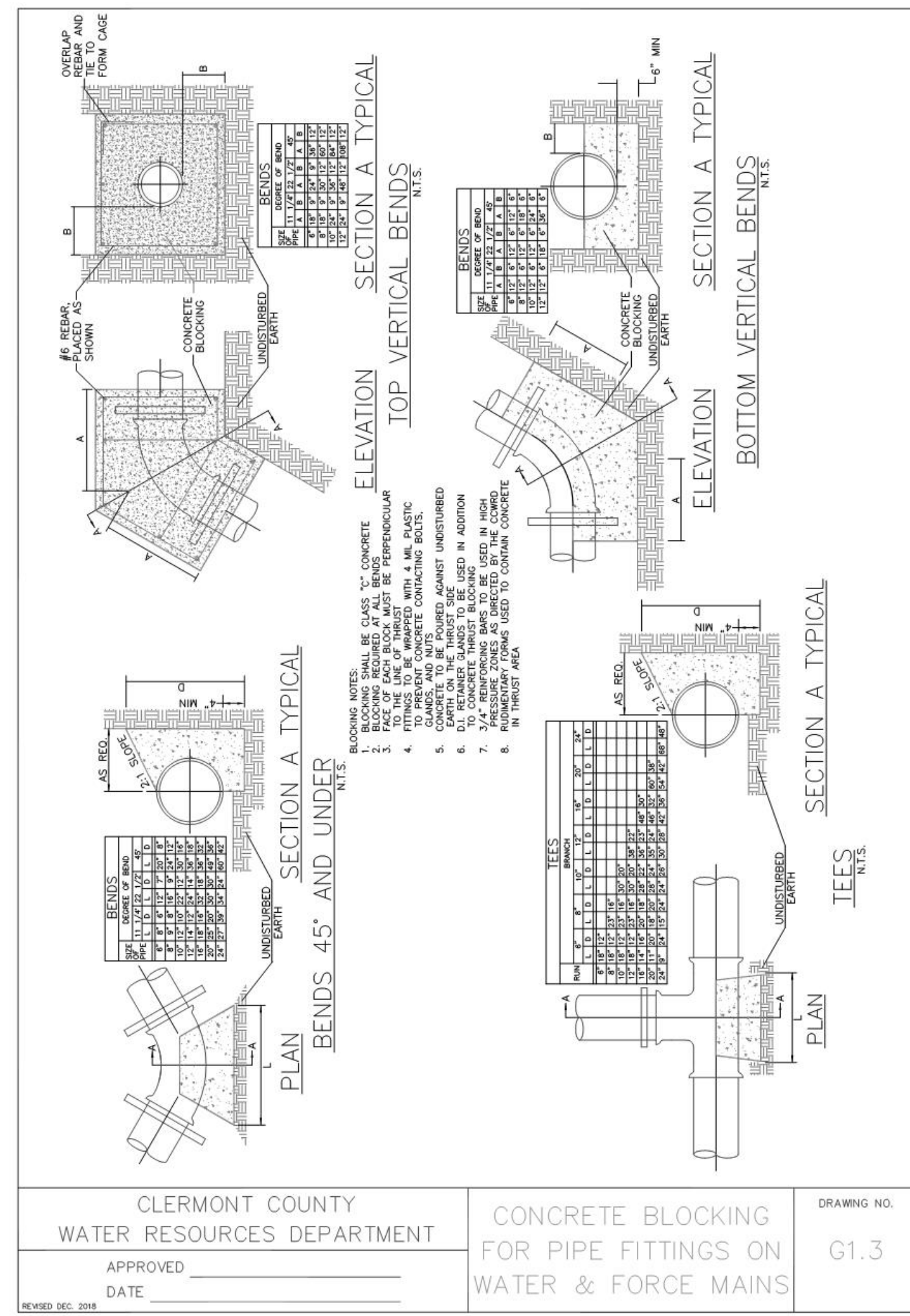


WEBSITE: <http://www.cardinalengineering.net>

PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2038  
BATAVIA & UNION TOWNSHIP, CLERMONT COUNTY, OHIO

CLIENT: MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY: SPM	SEAL
CHECKED BY: JKK	
PROJECT MANAGER: SPM	
PROJECT NO. 24-185	
SCALE 1"=50' HORZ 1"=10' VERT	
DATE 04-25-25	
SANITARY SEWER DETAILS	
SHEET C-220	



REVISIONS	DATE	#	ITEM
	05/16/25	1	DESIGN PLAN REVISIONS
	05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
 ENGINEERING  
 ARCHITECTURE  
 LAND SURVEYING  
 ONE MOORE ROAD  
 WILDER, OHIO 45391-4171  
 PHONE: 959-581-9600  
 FAX: 959-581-9636  
 WEBSITE: <http://www.cardinalengineering.net>

PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
 CLERMONT COUNTY DESIGN PLANS  
 DARBY M.S. #2058  
 BATAVIA & UNION TOWNSHIPS, CLERMONT COUNTY, OHIO  
 CLIENT: MER LAND DEVELOPMENT, LLC  
 P.O. BOX 43121  
 CINCINNATI, OHIO 45243

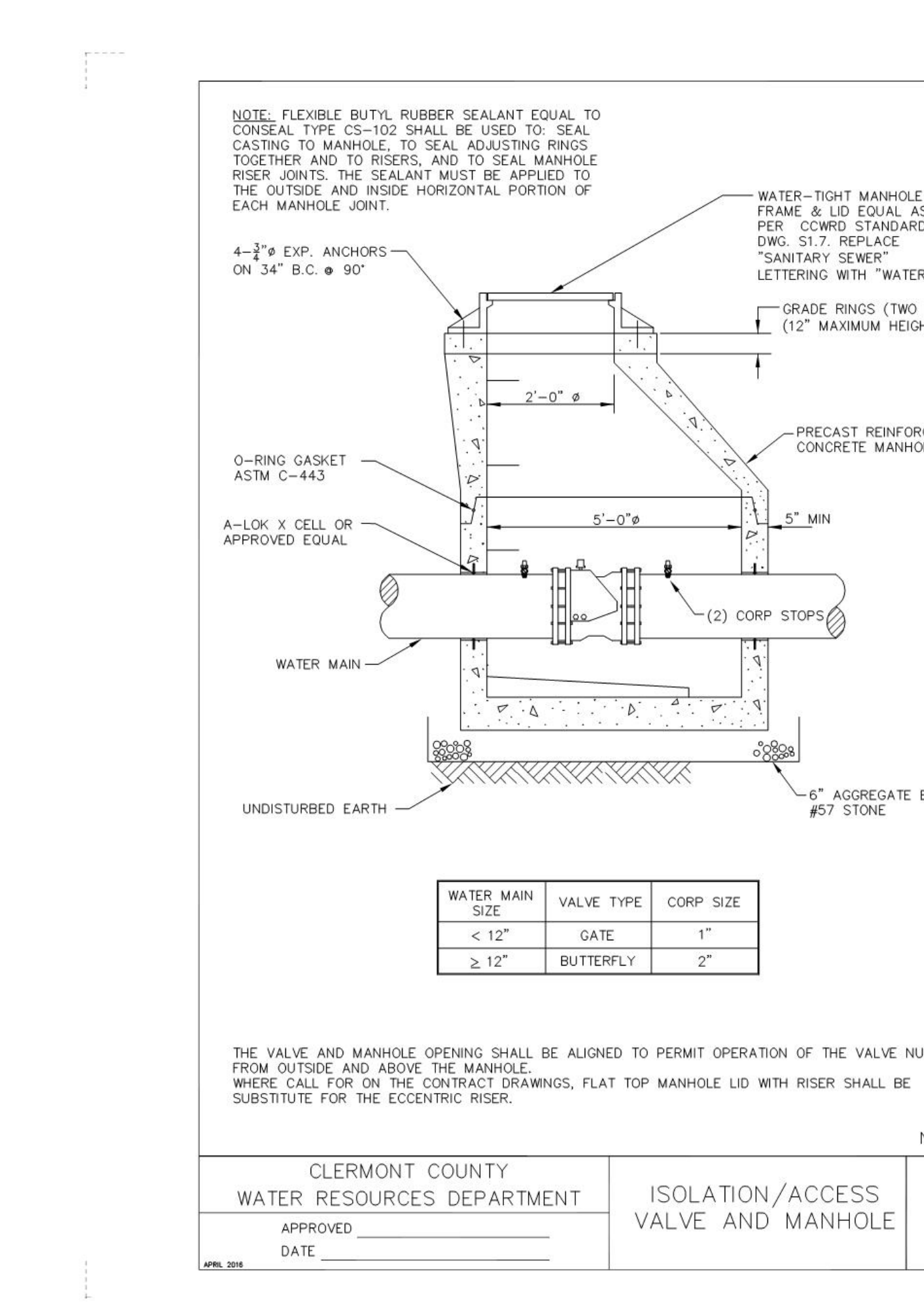
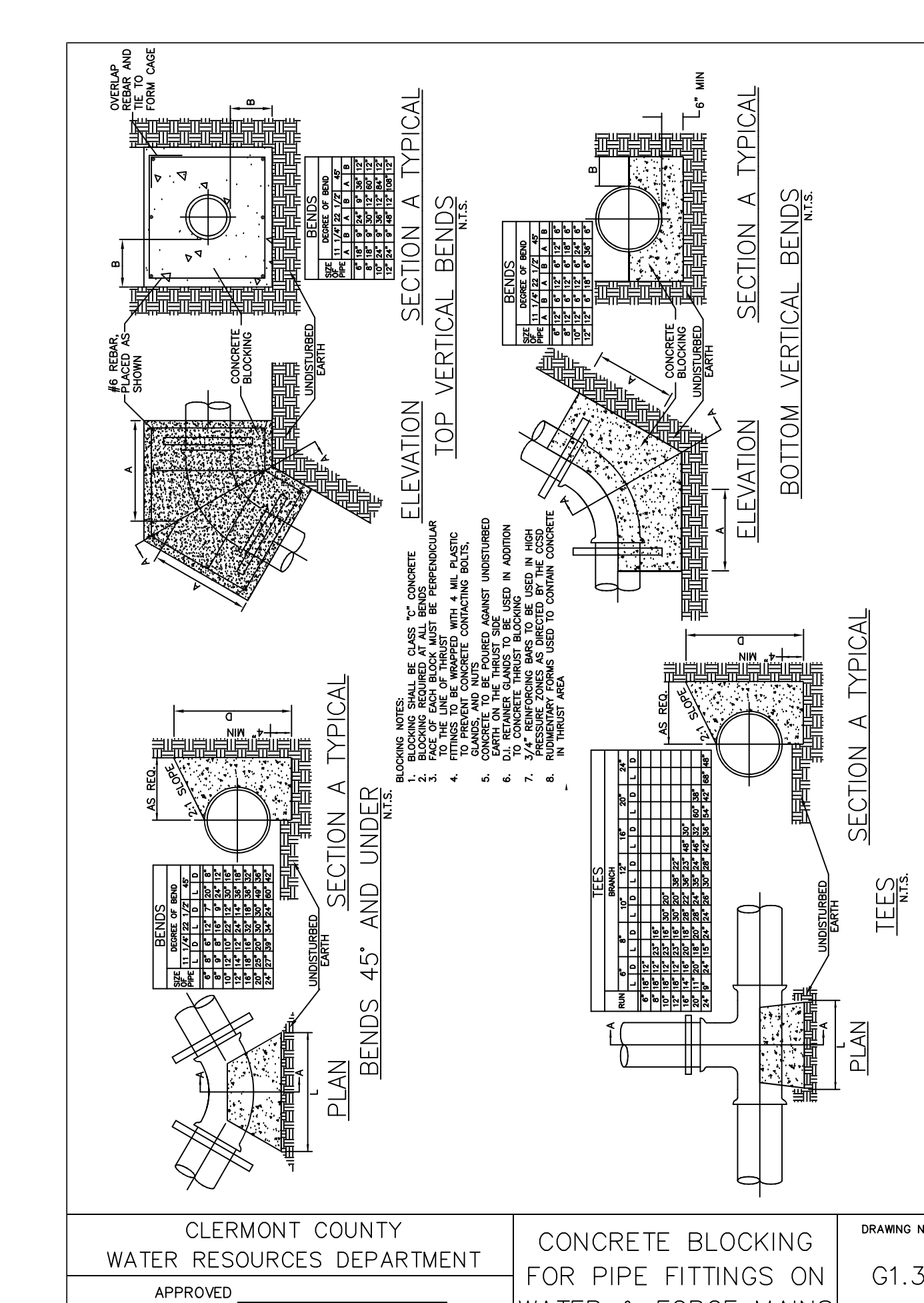
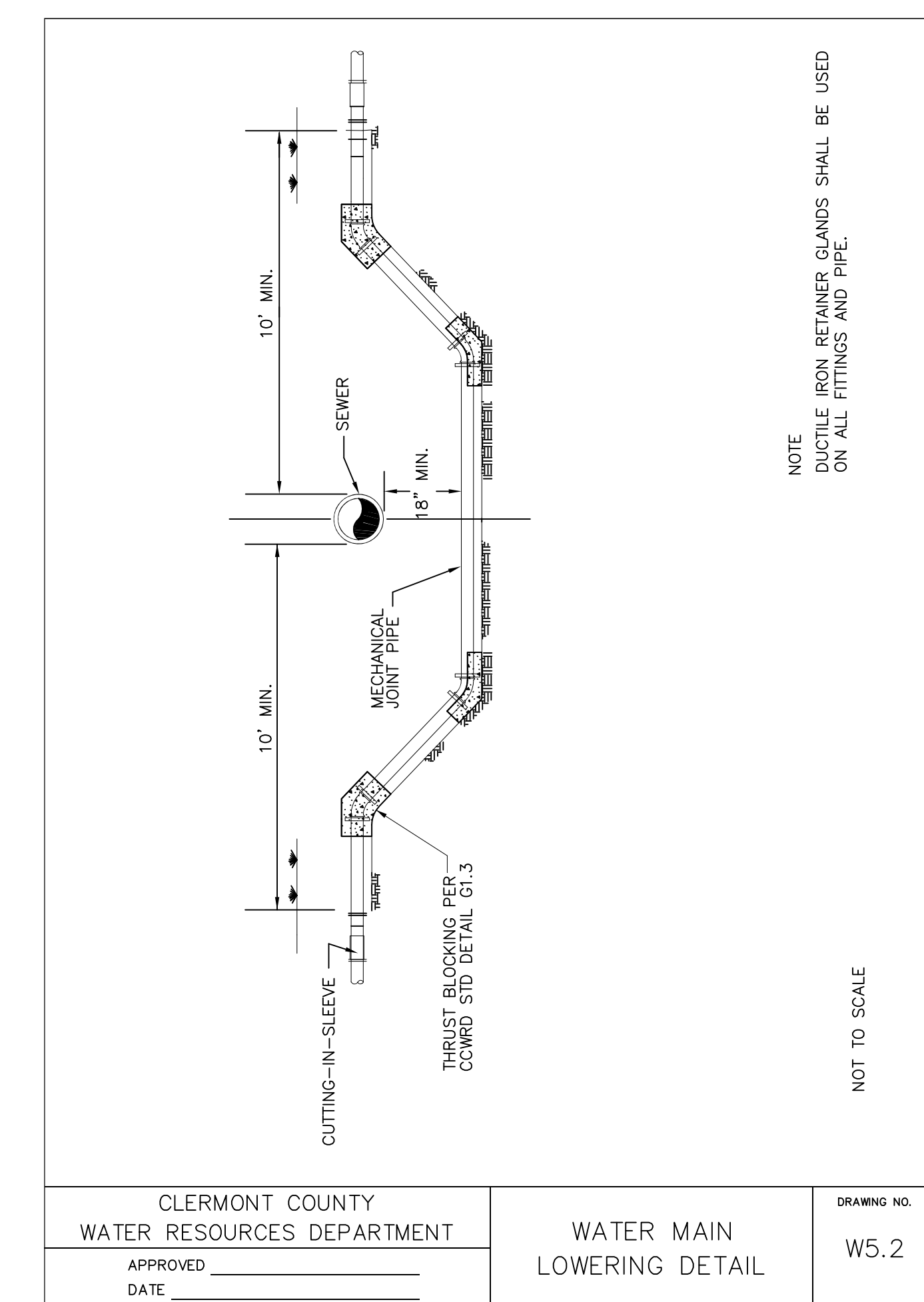
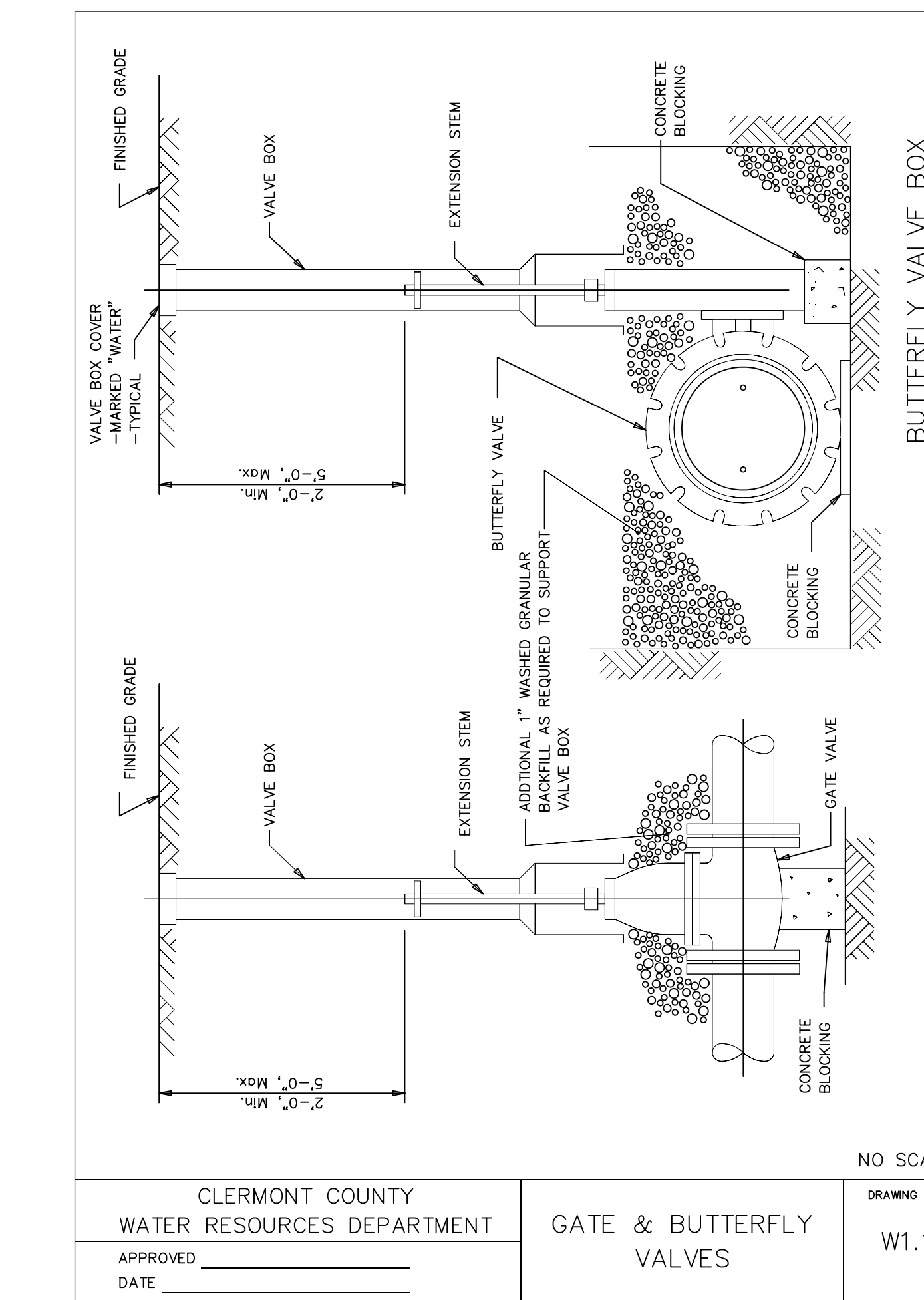
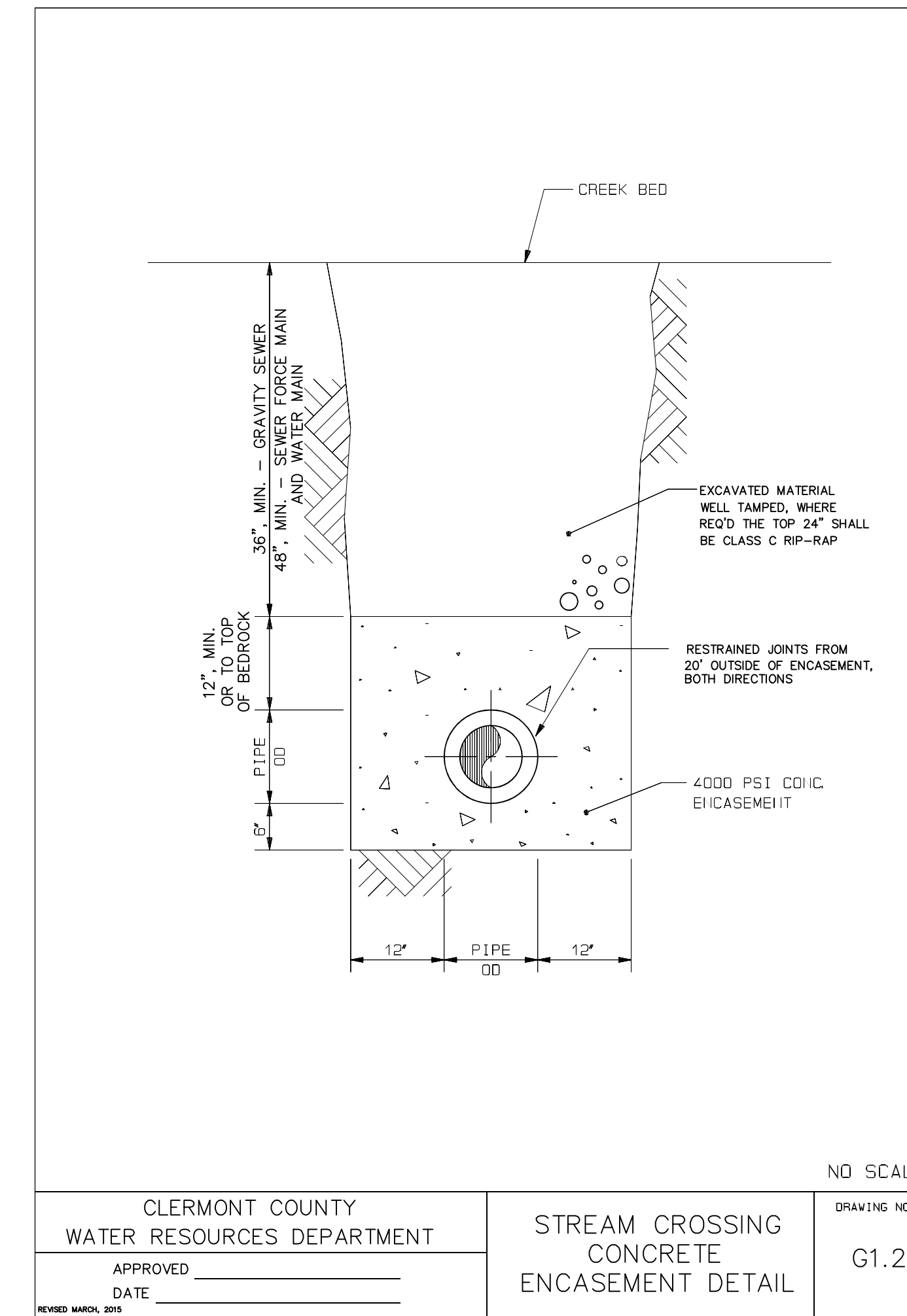
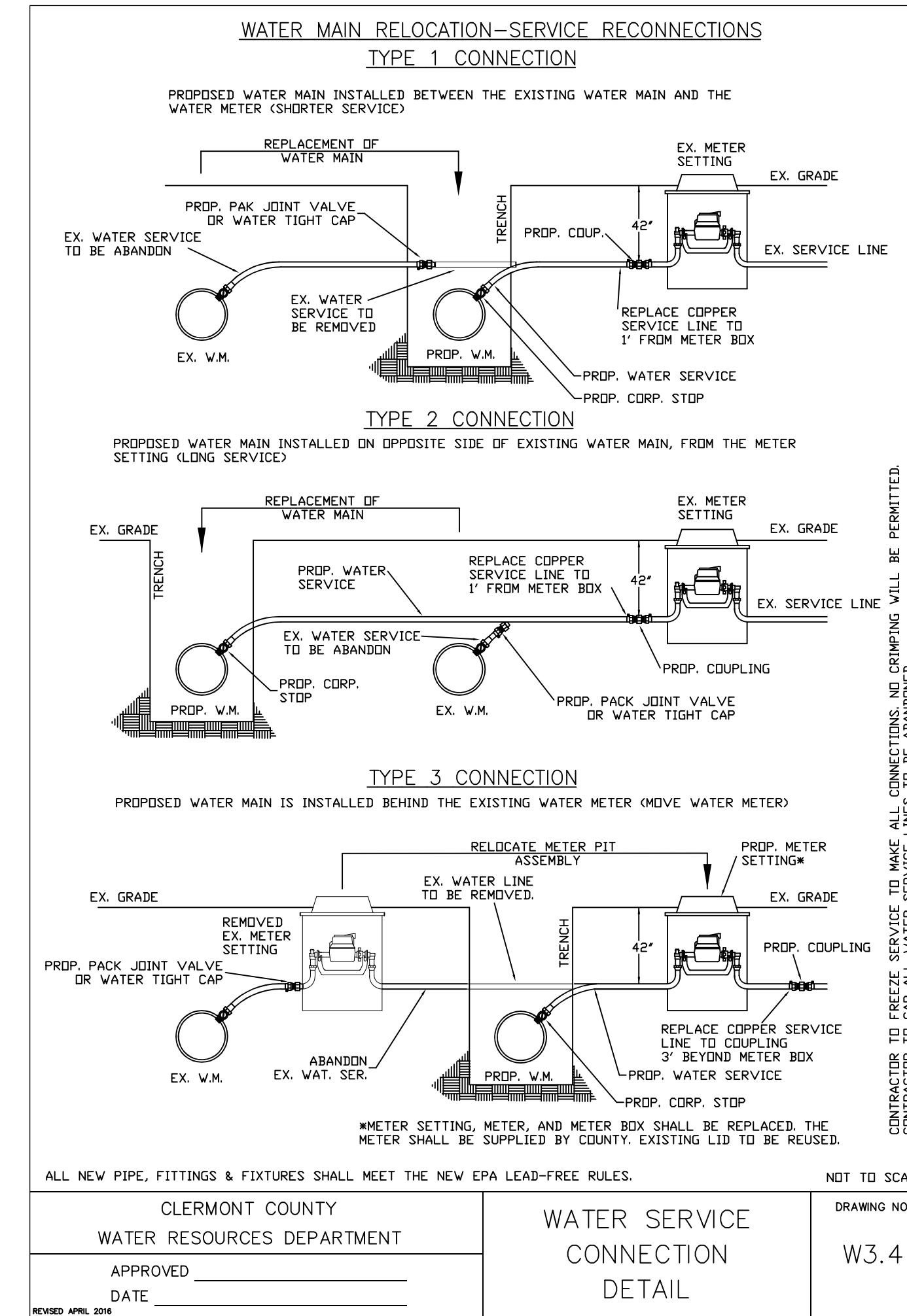
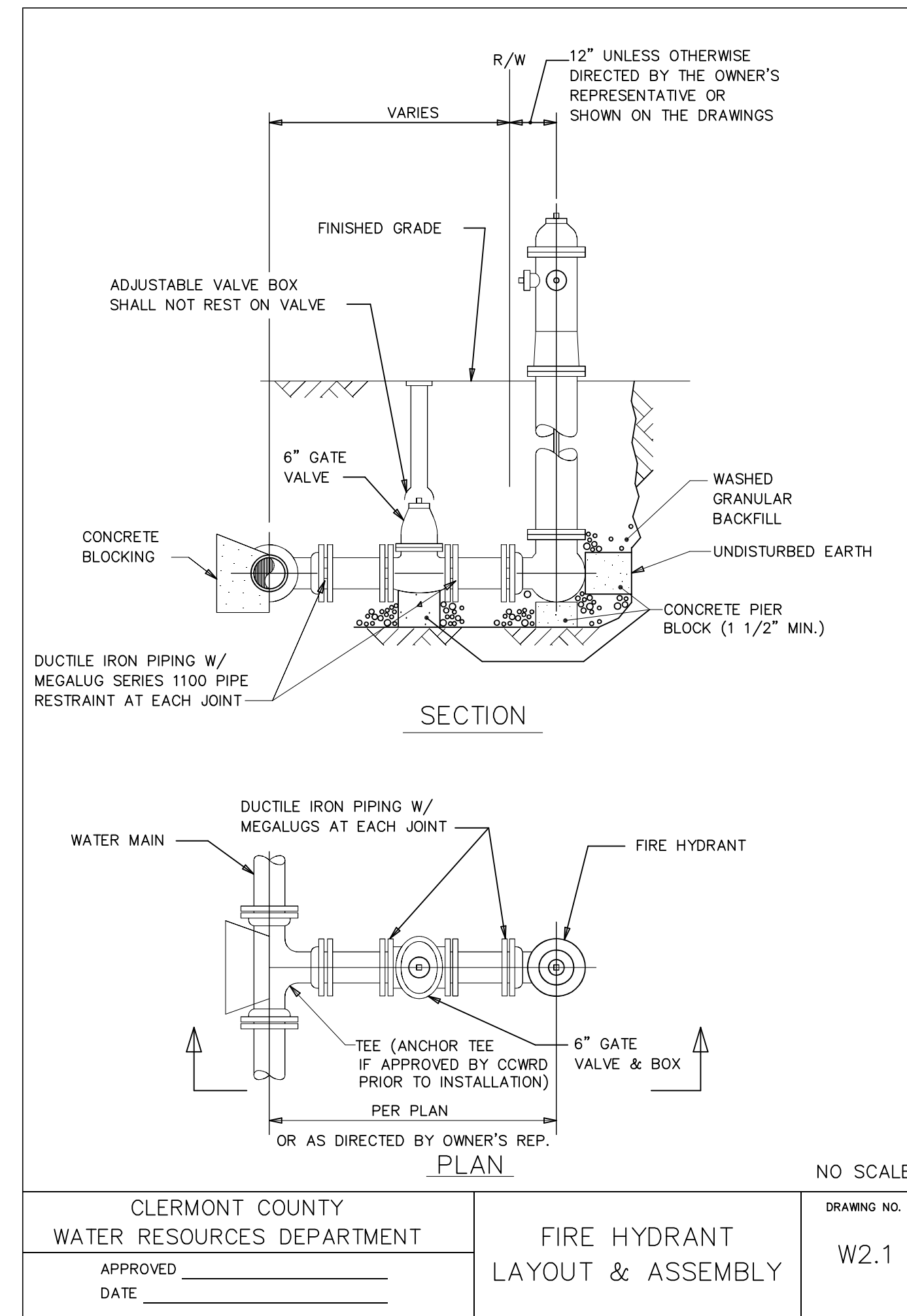
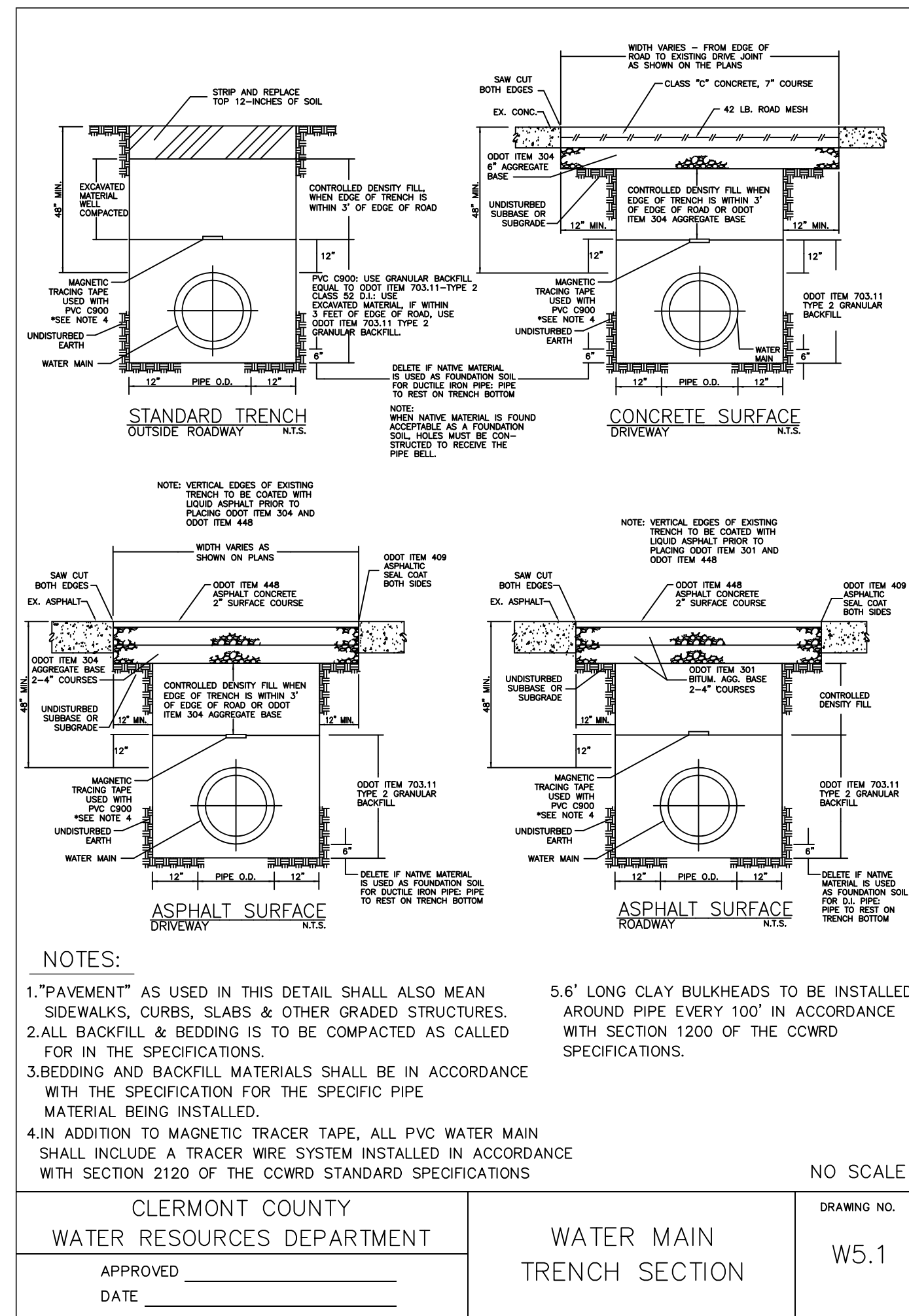
DRAWN BY:	SEAL
SPM	
CHECKED BY:	JCK
PROJECT MANAGER:	SPM

PROJECT NO. 24-185  
 SCALE 1"=50' HORZ 1"=10' VERT  
 DATE 04-25-25  
 SANITARY SEWER DETAILS  
 SHEET C-221

REVISIONS	DATE	#	ITEM
	05/16/25	1	DESIGN PLAN REVISIONS
	05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
ENGINEERING  
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MILDER, KENTUCKY 41071  
PHONE: 959-581-9600  
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PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2058  
BATAVIA & UNION TOWNSHIP, CLERMONT COUNTY, OHIO

CLIENT: MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY: SEAL  
CHECKED BY: JCK  
PROJECT MANAGER: SPM

PROJECT NO. 24-185  
SCALE 1"=50' HORZ 1"=10' VERT  
DATE: 04-25-25  
WATER MAIN DETAILS  
SHEET: **C-230**

# ZONING SUMMARY

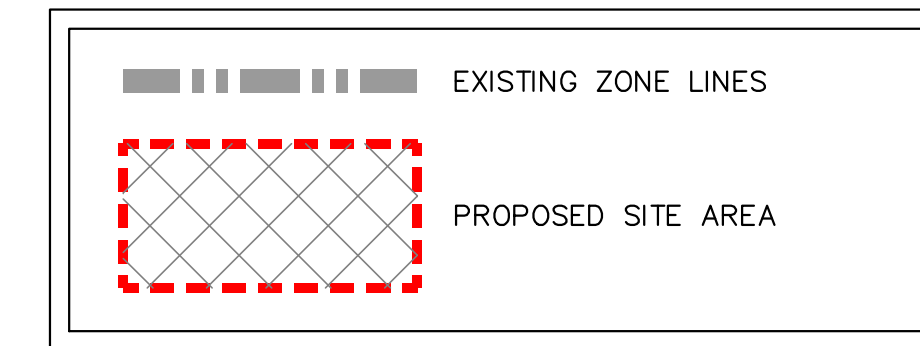
## OWNER

WINDING CREEK ESTATES, LLC  
6281 TRI-RODGE BOULEVARD, SUITE 180  
LOVELAND, OHIO 45140

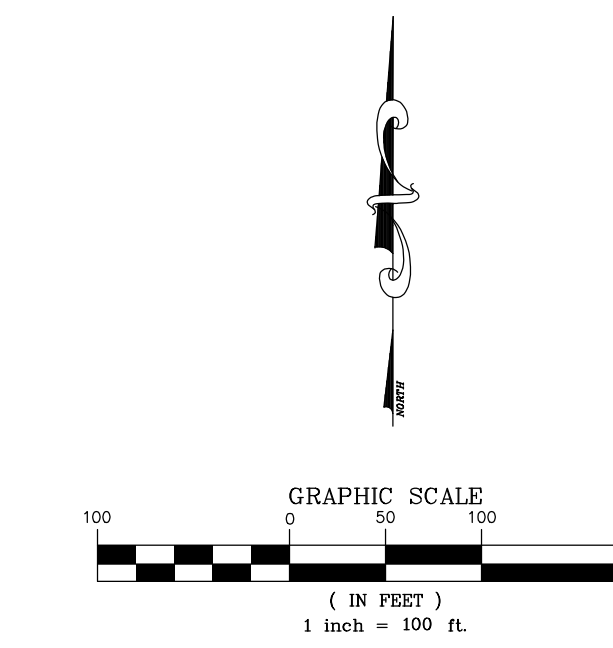
- NOTES:
- OWNERS OF SUBJECT PROPERTY: WINDING CREEK ESTATES, LLC
  - EXISTING USE OF SUBJECT PROPERTY: VACANT LAND.
  - EXISTING BUILDINGS ON SUBJECT PROPERTY: STORAGE BARN.
  - PROPOSED LAND USES FOR SUBJECT PROPERTY: SINGLE FAMILY DEVELOPMENT, MULTI-FAMILY DEVELOPMENT & GOLF COURSE.
  - SUBJECT PROPERTY DOES NOT LIE WITHIN A FLOOD ZONE PER PANEL 39025C0228G.
  - SOILS PRESENT WITHIN SUBJECT PROPERTY PER INCLUDE: CcD2 (CINCINNATI SILT LOAM, 12 TO 18 PERCENT SLOPES MODERATELY ERODED), ChD3 (CINCINNATI AND HICKORY SOILS, 12 TO 25 PERCENT SLOPES, SEVERELY ERODED), Cu (CUT AND FILL LAND), EbE2 (EDENTON LOAM (18 TO 25 PERCENT SLOPES, ERODED), Ee (EEL SILT LOAM, 0 TO 2 PERCENT SLOPES, OCCASIONALLY FLOODED), Gc (GENESSEE SILT LOAM, 0 TO 2 PERCENT SLOPES, OCCASIONALLY FLOODED), HhF2 (HICKORY LOAM, 18 TO 35 PERCENT SLOPES, MODERATELY ERODED), JcR1B2 (JONESBORO-ROSSMOYNE SILT LOAMS, 2 TO 6 PERCENT SLOPES, ERODED), JcR1B2 (JONESBORO-ROSSMOYNE-URBAN LAND COMPLEX, 2 TO 6 PERCENT SLOPES, ERODED), RpuC2 (ROSSMOYNE-URBAN LAND COMPLEX, 6 TO 12 PERCENT SLOPES, ERODED), WsU1A (WESTBORO, SCHAFER-URBAN LAND COMPLEX, 0 TO 2 PERCENT SLOPES).
  - LOTS WITHIN THE SITE AREA ARE TO BE CONSOLIDATED.

<b>SITE:</b>	TOTAL ZONE CHANGE AREA=57.3598 ACRES (19.7081 BATAVIA TOWNSHIP & 35.6517 TOWNSHIP) *19.4224 BATAVIA TOWNSHIP ACRES EXCLUDING R/W *35.2579 UNION TOWNSHIP ACRES EXCLUDING R/W (TO BE VERIFIED BY PROFESSIONAL LAND SURVEYOR)
<b>BATAVIA TOWNSHIP</b>	
<b>PROPERTY ID:</b>	012007A010
<b>EXISTING ZONING:</b>	PD PLANNED DEVELOPMENT MULTI-FAMILY
<b>UNION TOWNSHIP</b>	
<b>PROPERTY ID:</b>	373103E062
<b>EXISTING ZONING:</b>	PD-R-2 SINGLE FAMILY DETACH STRUCTURE RESIDENTIAL

## LEGEND



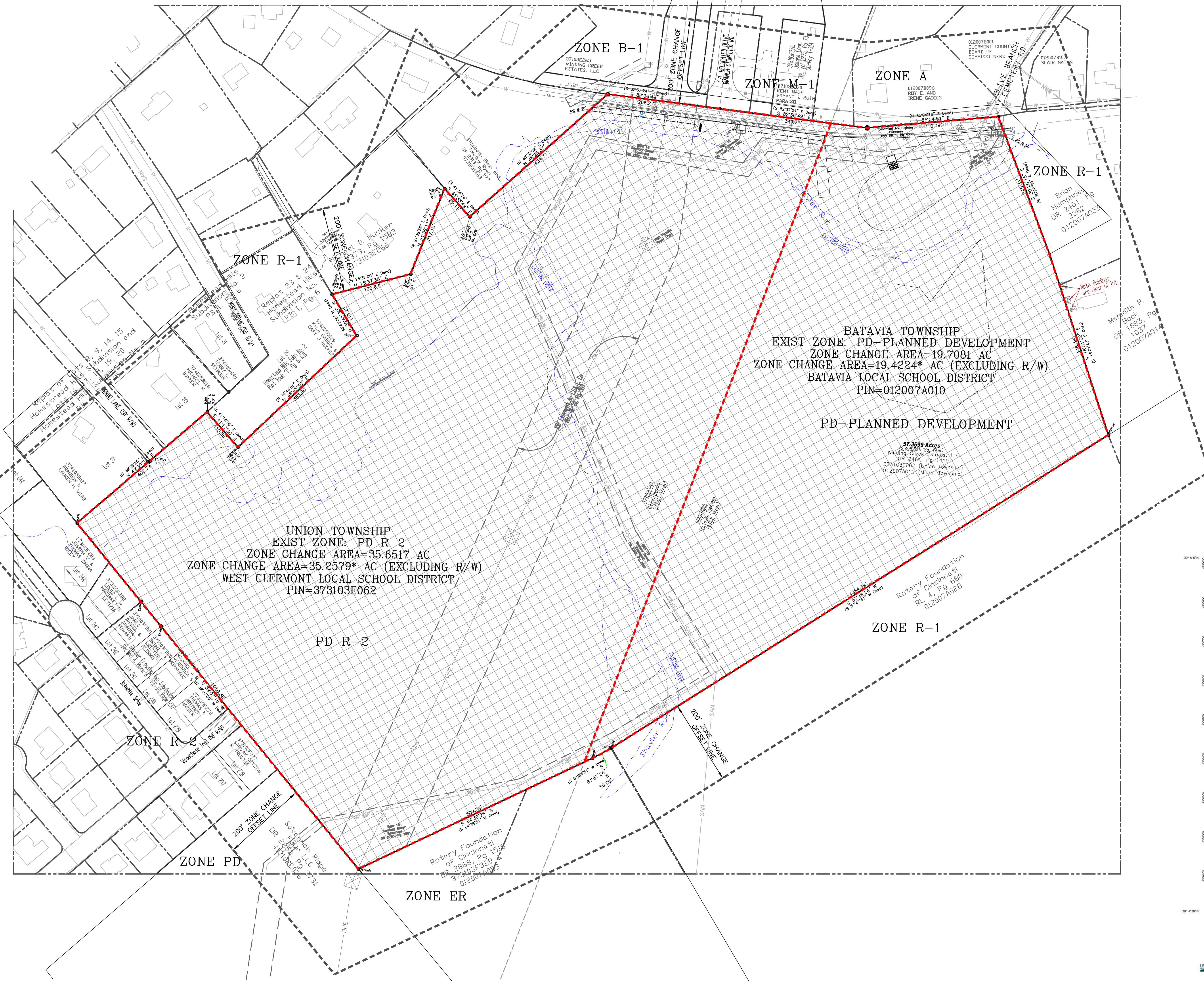
LEGEND	
—○—	OVERHEAD ELECTRIC
—○—	UNDERGROUND ELECTRIC
—○—	ELECTRIC BOX
—○—	ELECTRIC MANHOLE
—○—	ANCHOR POLE
—○—	LIGHT POLE
—○—	UTILITY POLE
—○—	GROUND LIGHT
—○—	OVERHEAD TELEPHONE
—○—	UNDERGROUND TELEPHONE
—○—	TELEPHONE BOX
—○—	TELEPHONE MANHOLE
—○—	BOLLARDS
—○—	SIGN
—○—	MAIL BOX
—○—	WATER LINE
—○—	WATER VALVE
—○—	FIRE HYDRANT
—○—	WATER METER
—○—	WATER VALVE BOX
—○—	WATER VALVE MANHOLE
—○—	POST INDICATOR VALVE
—○—	GAS LINE
—○—	GAS METER
—○—	GAS VALVE
—○—	GAS VALVE BOX
—○—	UTILITY MANHOLE
—○—	SEWER MANHOLE
—○—	STORM MANHOLE
—○—	DITCH OR CREEK
—○—	GUARDRAIL
—○—	FENCE LINE
—○—	R/W FENCE LINE



REVISIONS	DATE	#	ITEM
05/16/25		1	DESIGN PLAN REVISIONS
05/19/25		2	DESIGN PLAN REVISIONS

**CARDINAL**  
ENGINEERING  
ARCHITECTURE  
LAND SURVEYING  
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MILDER, KENTUCKY 41071  
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NRCS SOILS MAP  
N.T.S.



PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2058  
BATAVIA & UNION TWP., CLERMONT COUNTY, OHIO

CLIENT:  
MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY:	SEAL
CHECKED BY:	JCK
PROJECT MANAGER:	SPM
PROJECT NO. 24-185	
SCALE 1"=100'	
DATE 04-25-25	
ZONE CHANGE PLAN	
SHEET	C-400

ZONE INFORMATION - BATAVIA TOWNSHIP		
EXISTING ZONING: I - INDUSTRIAL DISTRICT	STANDARD R-3 MULTI-FAMILY DISTRICT SITE DATA	PD PLANNED DEVELOPMENT MULTI-FAMILY SITE DATA (SECTION 36.09.6)
MINIMUM LOT AREA: 10,000 SQUARE FEET	8 DWELLING UNITS PER GROSS ACRE*	MINIMUM FRONT YARD SETBACK: FIFTY (50) FEET (FROM PUBLIC ROW)
MINIMUM LOT WIDTH: 100 FEET	MINIMUM SIDE YARD SETBACK: FIFTY (50) FEET (ON EACH SIDE)	MINIMUM SIDE YARD SETBACK: FIFTY (50) FEET (FROM REAR LOT LINKS)
MINIMUM FRONT YARD SETBACK: FIFTY (50) FEET	MINIMUM REAR YARD SETBACK: TWENTY-FIVE (25) FEET	MINIMUM REAR YARD SETBACK: TWENTY-TWO (22) FEET
MINIMUM SIDE YARD SETBACK: FIFTY (50) FEET**	BETWEEN BUILDINGS: NET DENSITY: 10 DWELLING UNITS PER ACRE	BETWEEN BUILDINGS: NET DENSITY: 23.87 DWELLING UNITS PER ACRE
MAXIMUM HEIGHT REGULATION: FIFTY (50) FEET PRINCIPAL	* IN AREAS WHERE TOWNHOUSES OR ATTACHED CONDOMINIUMS ARE DEVELOPED, A MAXIMUM OF EIGHT (8) TOWNHOUSE UNITS IN ANY CONTIGUOUS GROUP IS RECOMMENDED.	** THIS MULTI-FAMILY STRUCTURES AND PAVEMENT SHALL NOT UTILIZE MORE THAN 60% OF THE NET ACREAGE ALLOCATED TO THE COMPLEX.
* SECTION 19.08C "MULTI-FAMILY DWELLINGS SHALL NOT EXCEED A DENSITY OF EIGHT (8) DWELLING UNITS PER GROSS ACRE, WITH LOT HAVING A WIDTH OF NOT LESS THAN 125 FEET AT THE BUILDING SETBACK LINE."		
* SECTION 19.07C "MULTI-FAMILY DWELLINGS SHALL HAVE A MINIMUM SIDE YARD SETBACK OF 50 FEET."		
* SECTION 19.08B "ALL OTHER UNITS SHALL HAVE A MINIMUM REAR YARD SETBACK OF 50 FEET."		

ZONE INFORMATION - UNION TOWNSHIP		
EXISTING ZONING: R-3 PLANNED MULTI-FAMILY RESIDENTIAL ZONE	STANDARD R-2 SINGLE FAMILY DETACHED STRUCTURE RESIDENTIAL ZONE SITE DATA	PROPOSED PD R-2 SINGLE FAMILY DETACHED STRUCTURE RESIDENTIAL ZONE SITE DATA
MINIMUM LOT AREA: 10,000 SQUARE FEET	N/A	MINIMUM LOT AREA: 15,875 SQUARE FEET (55' X 125')
MINIMUM LOT WIDTH: 100 FEET	N/A	MINIMUM LOT WIDTH: 100 FEET
MINIMUM DEPTH OF FRONT YARD: THIRTY (30) FEET	THIRTY (30) FEET	THIRTY (30) FEET
MINIMUM DEPTH OF REAR YARD: THIRTY (30) FEET	THIRTY (30) FEET	THIRTY (30) FEET
MINIMUM DEPTH OF SIDE YARD: TEN (10) FEET	TEN (10) FEET	SEVEN AND A HALF (7.5) FEET (15) TOTAL
MINIMUM WIDTH OF STREET SIDE YARD: THIRTY (30) FEET	THIRTY (30) FEET	FIFTEEN (15) FEET**
MINIMUM WIDTH OF LOT AT SETBACK LINE: SEVENTY-FIVE (75) FEET	SEVENTY-FIVE (75) FEET	FIFTY-FIVE (55) FEET
MINIMUM FRONTAGE OF LOT CORNER: NINETY (90) FEET	NINETY (90) FEET	SEVENTY (70) FEET**
MINIMUM HEIGHT OF BUILDING: THIRTY-FIVE (35) FEET	THIRTY-FIVE (35) FEET	MAXIMUM HEIGHT OF BUILDING: THIRTY-FIVE (35) FEET
		** SIDE YARD SETBACK FOR CORNER LOTS WILL PROVIDE 1/2 THE FRONT YARD SETBACK
		** LOT WIDTH FOR CORNER LOTS WILL PROVIDE 1/2 THE FRONT YARD SETBACK + MINIMUM LOT WIDTH AND SETBACK LINE

LEGEND	
—	OVERHEAD ELECTRIC
—	UNDERGROUND ELECTRIC
⊠	ELECTRIC BOX
⊠	ELECTRIC MANHOLE
⊠	ANCHOR POLE
⊠	LIGHT POLE
⊠	UTILITY POLE
⊠	GROUND LIGHT
⊠	OVERHEAD TELEPHONE
⊠	UNDERGROUND TELEPHONE
⊠	TELEPHONE BOX
⊠	TELEPHONE MANHOLE
⊠	BOLLARDS
⊠	MAIL BOX
⊠	WATER LINE
⊠	WATER VALVE
⊠	FIRE HYDRANT
⊠	WATER METER
⊠	WATER VALVE BOX
⊠	WATER VALVE MANHOLE
⊠	POST INDICATOR VALVE
⊠	GAS METER
⊠	GAS VALVE
⊠	GAS VALVE BOX
⊠	UTILITY MANHOLE
⊠	SEWER MANHOLE
⊠	STORM MANHOLE
⊠	DITCH OR CREEK
⊠	GUARDRAIL
⊠	FENCE LINE
⊠	R/W FENCE LINE



RESIDENTIAL PARCEL EAST  
7.17 ACRES  
98 CONDOMINIUM UNITS  
13.67 UNITS PER ACRE  
1.45 ACRES OPEN SPACE (20.17%)  
NET DENSITY CALCULATION:  
7.17 GROSS ACRES  
- 1.21 ACRES >20% SLOPE  
- 1.94 ACRES OF PRIVATE ROW/UTILITY EASEMENTS  
= 4.01 NET ACRES  
PROPOSED 98 UNITS / 4.01 NET ACRES = 24.42 UNITS/AC.  
(REFER TO C-201 FOR CALCULATIONS SPECIFIC TO BATAVIA TOWNSHIP)

**TOTAL MILEAGE OF PROPOSED PUBLIC/PRIVATE ROADWAYS**

SHAWNEE STATION BOULEVARD (PRIVATE)	1,159 LF / 0.22 MILES
SHAWNEE VIEW LANE (PRIVATE)	198 LF / 0.04 MILES
WOODCHASE TRAIL	888 LF / 0.17 MILES
SHAWNEE TRAIL (WEST)	360 LF / 0.07 MILES
SHAWNEE TRAIL (EAST)	243 LF / 0.05 MILES

LAND SUMMARY RESIDENTIAL WEST	
TOTAL AREA	732,467 sf. (16.82 ac.)
OPEN SPACE AREAS	294,580 sf.
PARKING LOT AREAS	0 sf.
STREET AREAS: PUBLIC	50,625 sf.
RIGHT-OF-WAY AREAS	35,226 sf.
LOT AREAS	351,943 sf.
BUILDING FOOTPRINT AREAS	102,828 sf.

UNIT SUMMARY RESIDENTIAL WEST	
HOME TYPES	
SINGLE FAMILY	41 HOMES
TOTAL UNITS	41 HOMES

LAND SUMMARY RESIDENTIAL EAST	
TOTAL AREA	312,197 sf. (7.17 ac.)
OPEN SPACE AREAS	62,975 sf.
PARKING LOT AREAS	40,898 sf.
STREET AREAS: PRIVATE	44,031 sf.
RIGHT-OF-WAY AREAS	16,845 sf.
LOT AREAS	150,143 sf.
BUILDING FOOTPRINT AREAS	61,887 sf.

UNIT SUMMARY RESIDENTIAL EAST	
HOME TYPES	
GALLERY 7 UNIT	14 HOMES
GALLERY 14 UNIT	84 HOMES
TOTAL UNITS	98 HOMES

REVISIONS		
DATE	#	ITEM
05/16/25	1	DESIGN PLAN REVISIONS
05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
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**DUMPSTER NOTES**

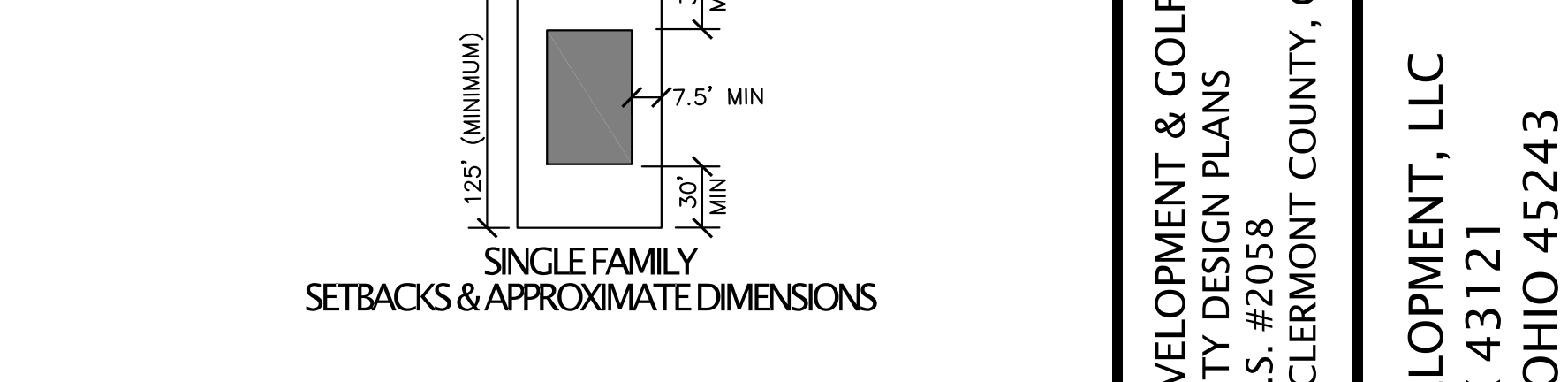
- THE DUMPSTER LOCATED BY THE DRIVING RANGE SHALL BE SCREENED IN ACCORDANCE WITH SECTION 7.27 OF THE BATAVIA TOWNSHIP ZONING RESOLUTION.
- THE DUMPSTER LOCATED CONDOMINIUM UNITS SHALL BE SCREENED IN ACCORDANCE WITH ARTICLE 11, SECTION 1131 OF THE UNION TOWNSHIP ZONING RESOLUTION.

**SETBACK SUMMARY**

LOT TYPE (PROPOSED PD R-2 ZONE)	MIN FRONT YARD	MIN REAR YARD	MIN SIDE YARD
SINGLE FAMILY	30'	30'	7.5'

**LOT SIZE SUMMARY**

LOT TYPE (PROPOSED PD R-2 ZONE)	MIN LOT AREA	MIN LOT WIDTH	MAX BLDG HEIGHT
SINGLE FAMILY	6,875 SF	55'	35'



**REAR SETBACK NOTE**

- DECKS AND/OR PATIOS CAN ENCR OACH INTO REAR YARD SETBACK
- DECKS AND/OR PATIOS SHALL NOT ENCR OACH IN THE 20' WOODED BUFFER MAINTAINED ALONG THE BOBWHITE DRIVE AND WOODCHASE TRAIL FRONTAGE

**PARKING SUMMARY PD PLANNED DEVELOPMENT MULTI-FAMILY**

REQUIRED:	2.5 PER UNIT (RESIDENTIAL MULTI-FAMILY) SEC 8.04.X = 245 SPACES
PROPOSED RATIO:	2.45 SPACES PER UNIT
PROVIDED:	240 SPACES*

BUILDING TYPE	GARAGE SPACES	DRIVEWAY SPACES**	# OF BLDGS.	TOTAL PARKING
14 UNIT GALLERY	8	8	6	96
7 UNIT GALLERY	4	4	2	16
TOTAL GARAGE SPACES = 112				OFFSTREET PARKING = 128
TOTAL PARKING = 240*				TOTAL UNITS = 98
TOTAL PARKING RATIO = 2.45 SPACES/UNIT				

\* DOES NOT INCLUDE ROAD A "ON-STREET" PARKING  
\*\* DRIVEWAY SPACES OBSTRUCT GARAGE SPACES

**PARKING SUMMARY PD PLANNED DEVELOPMENT GOLF**

CUSTOMER PROVIDED:	59 SPACES
EMPLOYEE PROVIDED:	17 SPACES
TOTAL PROVIDED:	76 SPACES

PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2058  
BATAVIA & UNION TOWNSHIPS, CLERMONT COUNTY, OHIO

CLIENT: MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

PROJECT NO. 24-185  
SCALE 1"=100'  
DATE 04-25-25  
PRELIMINARY SITE LAYOUT PLAN  
SHEET **C-500**

ZONE INFORMATION - BATAVIA TOWNSHIP			
EXISTING ZONING: R-3 PLANNED MULTI-FAMILY DISTRICT SITE	DATA	PROPOSED PD PLANNED DEVELOPMENT MULTI-FAMILY SITE DATA (SECTION 36.09.6)	
MINIMUM LOT AREA:	8 DWELLING UNITS PER GROSS ACRE*	MINIMUM FRONT YARD SETBACK:	FIFTY (50) FEET (FROM PUBLIC ROW)
MINIMUM FRONT YARD SETBACK:	ONE HUNDRED TWENTY FIVE (125) FEET	MINIMUM SIDE YARD SETBACK:	FIFTY (50) FEET (ON EACH SIDE)
MINIMUM SIDE YARD SETBACK:	FIFTY (50) FEET	MINIMUM REAR YARD SETBACK:	FIFTY (50) FEET (FROM REAR LOT LINK)
MINIMUM REAR YARD SETBACK:	FIFTY (50) FEET**	BETWEEN BUILDINGS:	TWENTY-FIVE (25) FEET
MAXIMUM HEIGHT REGULATIONS:	FIFTY (50) FEET PRINCIPAL FIFTEEN (15) FEET ACCESSORY	NET DENSITY:	10 DWELLING UNITS PER ACRE
			** IN AREAS WHERE TOWNHOUSES OR ATTACHED CONDOMINIUMS ARE DEVELOPED, A MAXIMUM OF EIGHT (8) TOWNHOUSE UNITS IN ANY CONTIGUOUS GROUP IS RECOMMENDED.
			** THIS MULTI-FAMILY STRUCTURES AND PAVEMENT SHALL NOT UTILIZE MORE THAN 60% OF THE NET ACREAGE ALLOCATED TO THE COMPLEX.
			* SECTION 19.07C "MULTI-FAMILY DWELLINGS SHALL HAVE A MINIMUM SIDE YARD SETBACK OF 50 FEET."
			* SECTION 19.08B "ALL OTHER USES SHALL HAVE A MINIMUM REAR YARD SETBACK OF 50 FEET."

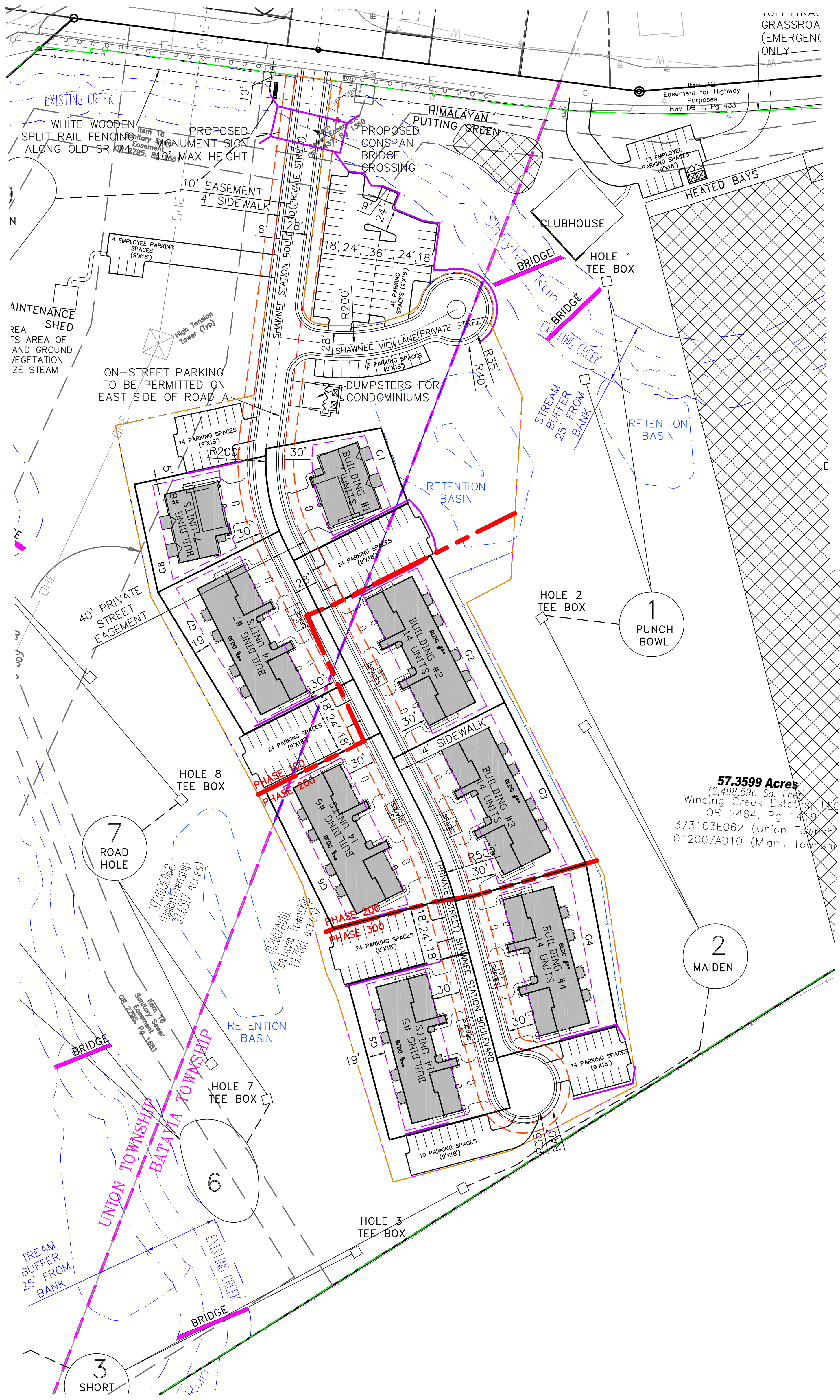
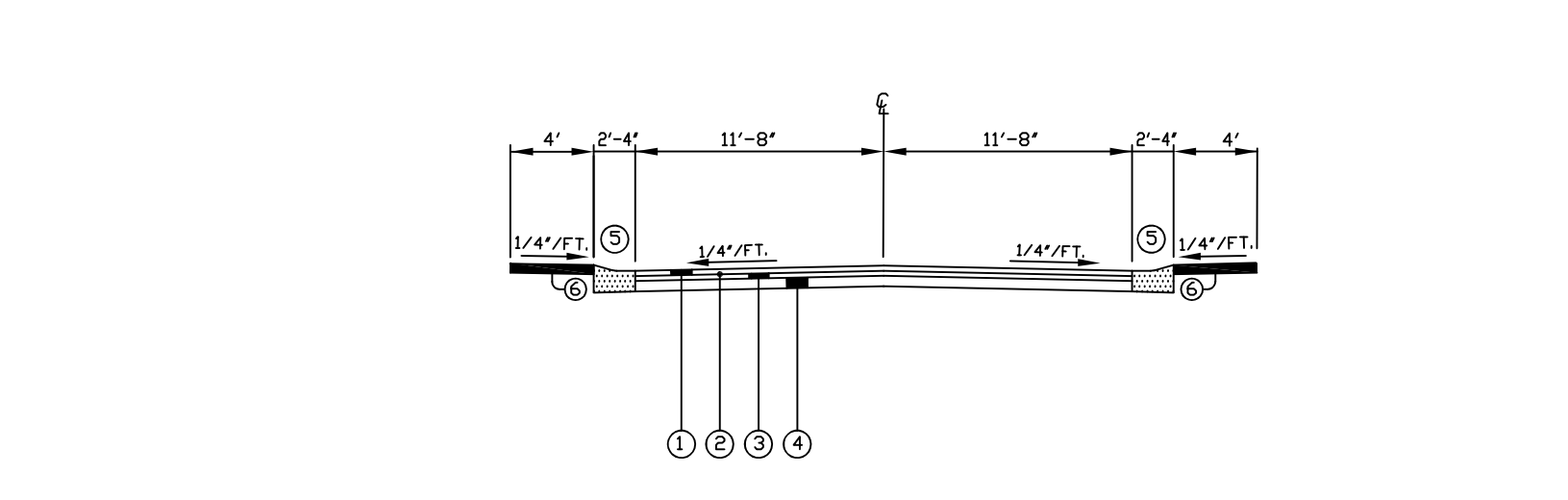
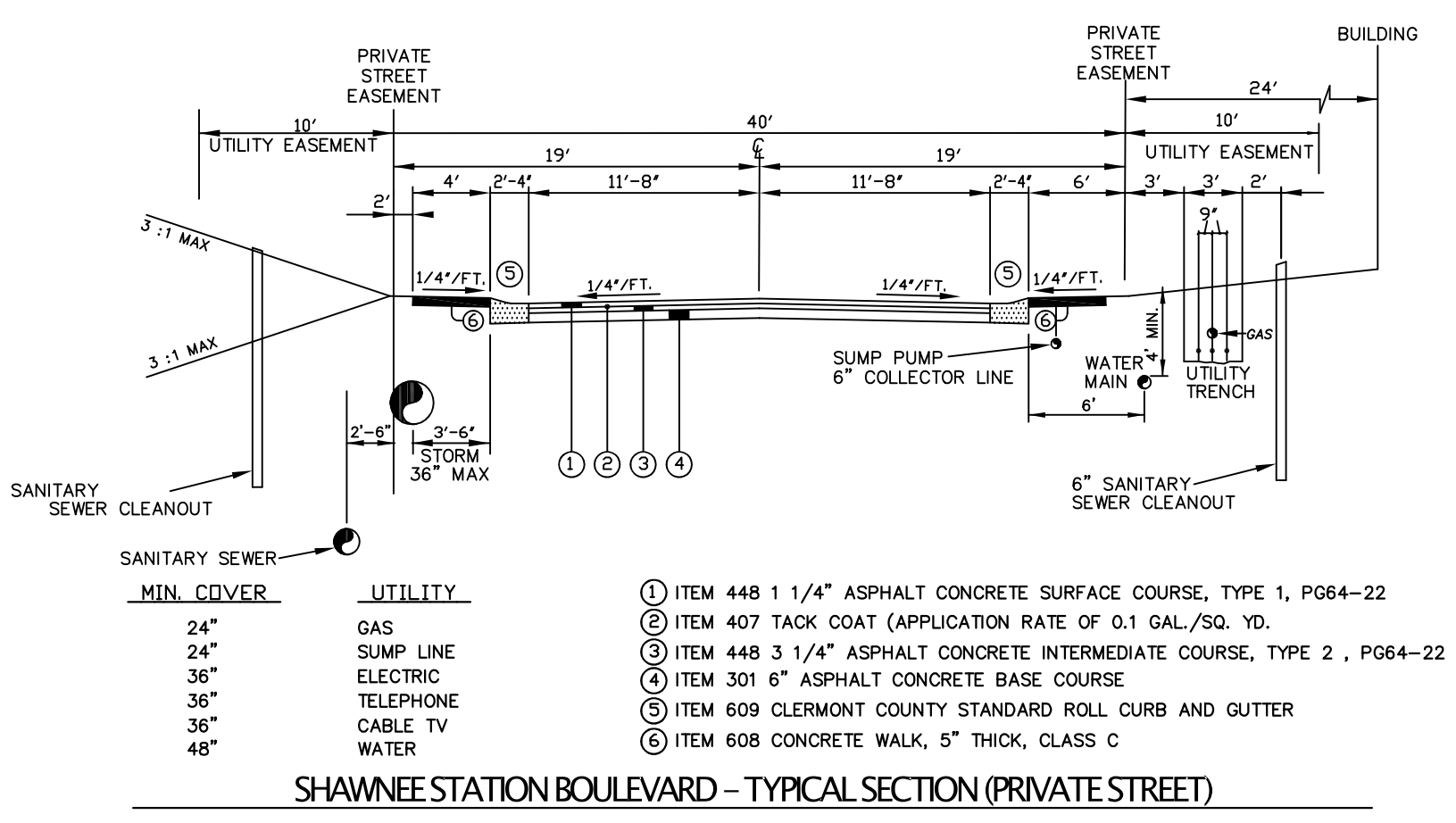
ZONE INFORMATION - UNION TOWNSHIP			
EXISTING ZONING: R-3 PLANNED MULTI-FAMILY RESIDENTIAL ZONE	DATA	PROPOSED PD R-2 SINGLE FAMILY DETACHED STRUCTURE RESIDENTIAL ZONE SITE DATA	
MINIMUM LOT AREA:	15,000 SQUARE FEET	MINIMUM LOT AREA:	16,875 SQUARE FEET (25' x 125')
MAXIMUM LOT AREA:	N/A	MINIMUM DEPTH OF FRONT YARD:	THIRTY (30) FEET
MINIMUM DEPTH OF FRONT YARD:	THIRTY (30) FEET	MINIMUM DEPTH OF REAR YARD:	THIRTY (30) FEET
MINIMUM DEPTH OF REAR YARD:	THIRTY (30) FEET	MINIMUM DEPTH OF SIDE YARD:	SEVEN AND A HALF (7.5) FEET (15) TOTAL
MINIMUM DEPTH OF SIDE YARD:	TEN (10) FEET	MINIMUM WIDTH OF STREET SIDE YARD:	FIFTEEN (15) FEET**
MINIMUM WIDTH OF STREET SIDE YARD:	THIRTY (30) FEET	MINIMUM WIDTH OF LOT AT SETBACK LINE:	FIFTY-FIVE (55) FEET
MINIMUM WIDTH OF LOT AT SETBACK LINE:	SEVENTY-FIVE (75) FEET	MINIMUM FRONTAGE OF LOT CORNER:	SEVENTY (70) FEET**
MINIMUM FRONTAGE OF LOT CORNER:	NINETY (90) FEET	MAXIMUM HEIGHT OF BUILDING:	THIRTY-FIVE (35) FEET
MAXIMUM HEIGHT OF BUILDING:	THIRTY-FIVE (35) FEET		** LOT WIDTH FOR CORNER LOTS WILL PROVIDE 1/2 THE FRONT YARD SETBACK + MINIMUM LOT WIDTH AND SETBACK LINE.

LEGEND	
—DE—	OVERHEAD ELECTRIC
—UE—	UNDERGROUND ELECTRIC
□	ELECTRIC BOX
⊙	ELECTRIC MANHOLE
⊙	ANCHOR POLE
⊙	LIGHT POLE
⊙	UTILITY POLE
⊙	GROUND LIGHT
—OTC—	OVERHEAD TELEPHONE
—UTE—	UNDERGROUND TELEPHONE
□	TELEPHONE BOX
⊙	TELEPHONE MANHOLE
⊙	BOLLARDS
—	MAIL BOX
—	WATER LINE
—	WATER VALVE
—	FIRE HYDRANT
—	WATER METER
—	WATER VALVE BOX
—	WATER VALVE MANHOLE
—	POST INDICATOR VALVE
—	GAS LINE
—	GAS METER
—	GAS VALVE
—	GAS VALVE BOX
—	UTILITY MANHOLE
—	SEWER MANHOLE
—	STORM MANHOLE
—	DITCH OR CREEK
—	GUARDRAIL
—	FENCE LINE
—ITEM—	R/W FENCE LINE

REVISIONS		
DATE	#	ITEM
05/16/25	1	DESIGN PLAN REVISIONS
05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
ENGINEERING  
ARCHITECTURE  
LAND SURVEYING  
ONE MOORE ROAD  
MILWAUKEE, OHIO 43101  
PHONE: 959.581.9600  
FAX: 659.581.9636

WEBSITE: <http://www.cardinalengineering.net>



**LAND SUMMARY RESIDENTIAL EAST (TOTAL)**

TOTAL AREA	312,197 sf. (7.17 ac.)
OPEN SPACE AREAS	62,975 sf.
PARKING LOT AREAS	40,898 sf.
STREET AREAS: PRIVATE	44,031 sf.
RIGHT-OF-WAY AREAS	16,845 sf.
LOT AREAS	150,143 sf.
BUILDING FOOTPRINT AREAS	61,887 sf.

**UNIT SUMMARY RESIDENTIAL EAST (TOTAL)**

HOME TYPES	
GALLERY 7 UNIT	14 HOMES
GALLERY 14 UNIT	84 HOMES
TOTAL UNITS	98 HOMES

**LAND SUMMARY RESIDENTIAL EAST (UNION)**

TOTAL AREA	119,063 sf. (2.73 ac.)
OPEN SPACE AREAS	21,081 sf.
PARKING LOT AREAS	15,599 sf.
STREET AREAS: PRIVATE	25,467 sf.
RIGHT-OF-WAY AREAS	9,729 sf.
LOT AREAS	46,607 sf.
BUILDING FOOTPRINT AREAS	18,066 sf.

**UNIT SUMMARY RESIDENTIAL EAST (UNION)**

HOME TYPES	
GALLERY 7 UNIT	14 HOMES
GALLERY 14 UNIT	14 HOMES
TOTAL UNITS	28 HOMES

**LAND SUMMARY RESIDENTIAL EAST (BATAVIA)**

TOTAL AREA	193,134 sf. (4.43 ac.)
OPEN SPACE AREAS	41,885.19 sf.
PARKING LOT AREAS	25,298 sf.
STREET AREAS: PRIVATE	18,326 sf.
RIGHT-OF-WAY AREAS	7,134 sf.
LOT AREAS	103,216 sf.
BUILDING FOOTPRINT AREAS	43,822 sf.

**UNIT SUMMARY RESIDENTIAL EAST (BATAVIA)**

HOME TYPES	
GALLERY 7 UNIT	0 HOMES
GALLERY 14 UNIT	70 HOMES
TOTAL UNITS	70 HOMES

**NET DENSITY RESIDENTIAL EAST (BATAVIA)**

RESIDENTIAL EAST BATAVIA  
4.43 ACRES  
70 CONDOMINIUM UNITS  
15.79 UNITS PER ACRE  
0.96 ACRES OPEN SPACE (21.69%)  
NET DENSITY CALCULATION:  
4.43 GROSS ACRES  
- 0.76 ACRES >20% SLOPE  
- 0.42 ACRES OF PRIVATE ROW/UTILITY EASEMENTS  
= 3.25 NET ACRES  
PROPOSED 70 UNITS / 3.25 NET ACRES = 21.54 UNITS/AC.

PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2058  
BATAVIA & UNION TOWNSHIPS, CLERMONT COUNTY, OHIO

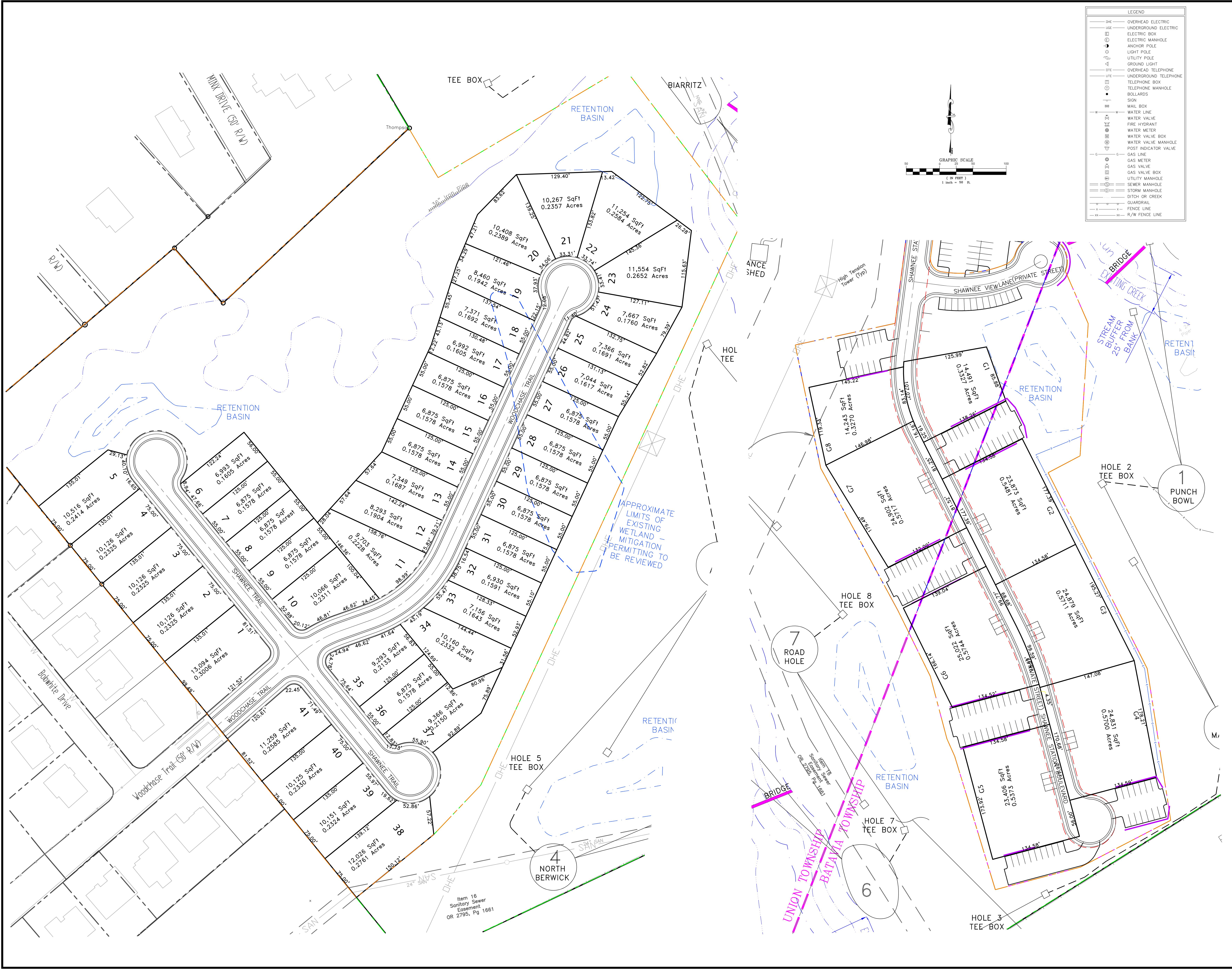
CLIENT: MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY: SPM  
CHECKED BY: JCK  
PROJECT MANAGER: SPM

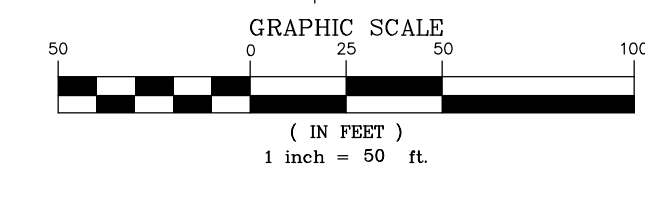
PROJECT NO. 24-185  
SCALE: 1"=60'  
DATE: 04-25-25

PRELIMINARY  
SITE LAYOUT PLAN

SHEET: C-501



LEGEND	
(Symbol)	OVERHEAD ELECTRIC
(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	ELECTRIC BOX
(Symbol)	ELECTRIC MANHOLE
(Symbol)	ANCHOR POLE
(Symbol)	LIGHT POLE
(Symbol)	UTILITY POLE
(Symbol)	GROUND LIGHT
(Symbol)	OVERHEAD TELEPHONE
(Symbol)	UNDERGROUND TELEPHONE
(Symbol)	TELEPHONE BOX
(Symbol)	TELEPHONE MANHOLE
(Symbol)	BOLLARDS
(Symbol)	MAIL BOX
(Symbol)	WATER LINE
(Symbol)	WATER VALVE
(Symbol)	FIRE HYDRANT
(Symbol)	WATER METER
(Symbol)	WATER VALVE BOX
(Symbol)	WATER VALVE MANHOLE
(Symbol)	POST INDICATOR VALVE
(Symbol)	GAS LINE
(Symbol)	GAS METER
(Symbol)	GAS VALVE
(Symbol)	GAS VALVE BOX
(Symbol)	UTILITY MANHOLE
(Symbol)	SEWER MANHOLE
(Symbol)	STORM MANHOLE
(Symbol)	DITCH OR CREEK
(Symbol)	GUARDRAIL
(Symbol)	FENCE LINE
(Symbol)	R/W FENCE LINE



REVISIONS	DATE	#	ITEM
	05/16/25	1	DESIGN PLAN REVISIONS
	05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
 ENGINEERING  
 ARCHITECTURE  
 LAND SURVEYING  
 ONE MOORE ROAD  
 MILLER, KENTUCKY 41071  
 PHONE: 959-581-9600  
 FAX: 959-581-9636

WEBSITE: <http://www.cardinalengineering.net>

PROJECT:	CLIENT:
SHAWNEE STATION DEVELOPMENT & GOLF COURSE CLERMONT COUNTY DESIGN PLANS DARBY M.S. #2058	MER LAND DEVELOPMENT, LLC P.O. BOX 43121 CINCINNATI, OHIO 45243

PROJECT:	CLIENT:
SHAWNEE STATION DEVELOPMENT & GOLF COURSE CLERMONT COUNTY DESIGN PLANS DARBY M.S. #2058	MER LAND DEVELOPMENT, LLC P.O. BOX 43121 CINCINNATI, OHIO 45243

DRAWN BY: SPM	SEAL
CHECKED BY: JKK	
PROJECT MANAGER: SPM	
PROJECT NO. 24-185	
SCALE 1"=50'	
DATE 04-25-25	
PRELIMINARY LOT DIMENSION PLAN	
SHEET	<b>C-502</b>

REVISIONS	DATE	#	ITEM
05/16/25	1		DESIGN PLAN REVISIONS
05/19/25	2		DESIGN PLAN REVISIONS

**CARDINAL**  
ENGINEERING  
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MILER, KENTUCKY 41071  
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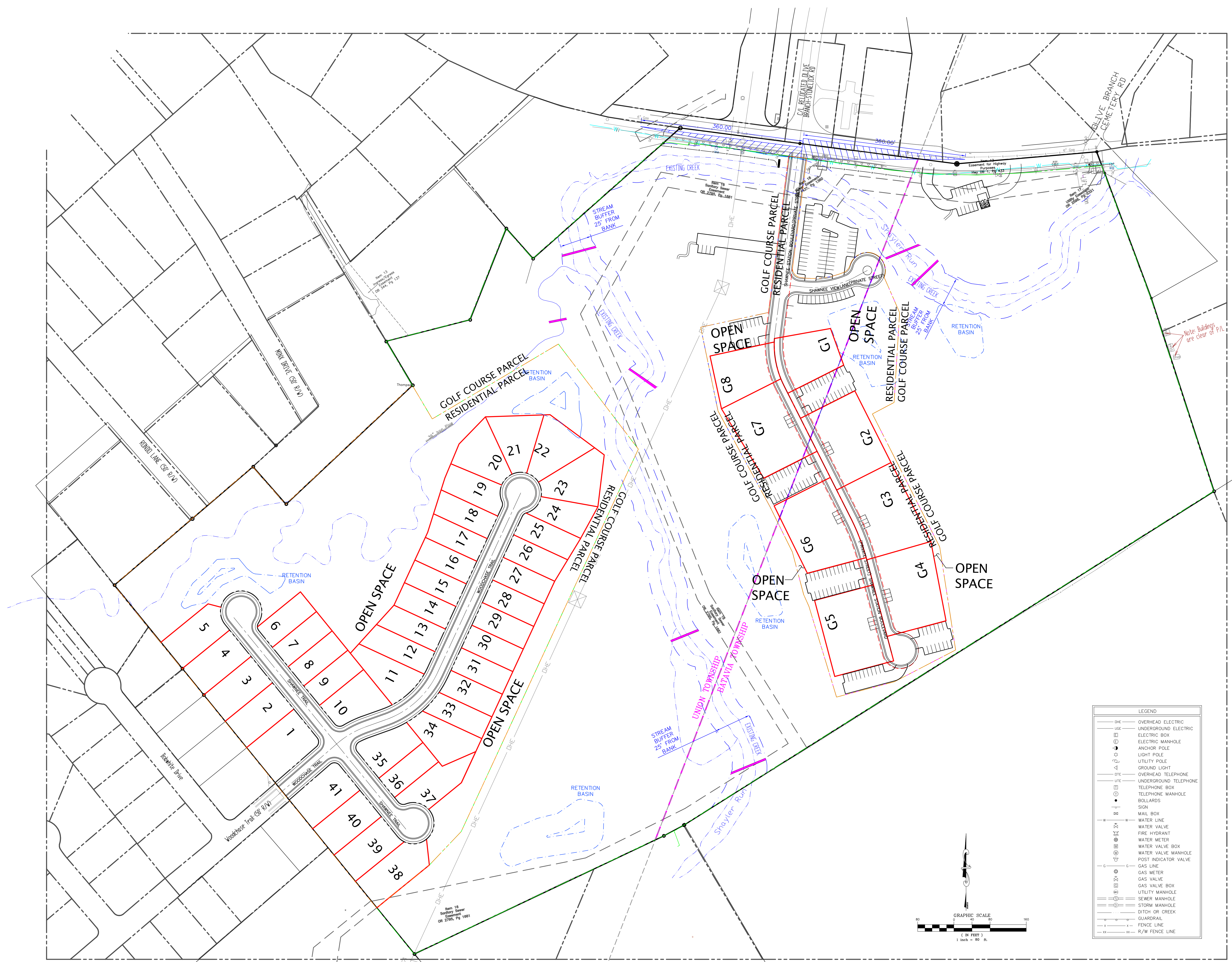
PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2058  
BATAVIA & UNION TOWNSHIPS, CLERMONT COUNTY, OHIO

CLIENT:  
MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY: SPM  
CHECKED BY: JCK  
PROJECT MANAGER: SPM

PROJECT NO. 24-185  
SCALE 1"=80'  
DATE 04-25-25

PRELIMINARY  
LOT DIMENSION PLAN  
SHEET C-503



LEGEND	
DHE	OVERHEAD ELECTRIC
UE	UNDERGROUND ELECTRIC
⊠	ELECTRIC BOX
⊞	ELECTRIC MANHOLE
⊙	ANCHOR POLE
⊕	UTILITY POLE
⊖	GROUND LIGHT
⊗	OVERHEAD TELEPHONE
⊘	UNDERGROUND TELEPHONE
⊙	TELEPHONE BOX
⊞	TELEPHONE MANHOLE
⊙	BOLLARDS
⊙	MAIL BOX
—	WATER LINE
⊞	WATER VALVE
⊞	FIRE HYDRANT
⊞	WATER METER
⊞	WATER VALVE BOX
⊞	WATER VALVE MANHOLE
⊞	POST INDICATOR VALVE
—	GAS LINE
⊞	GAS METER
⊞	GAS VALVE
⊞	GAS VALVE BOX
⊞	UTILITY MANHOLE
⊞	SEWER MANHOLE
⊞	STORM MANHOLE
—	DITCH OR CREEK
—	GUARDRAIL
—	FENCE LINE
—	R/W FENCE LINE

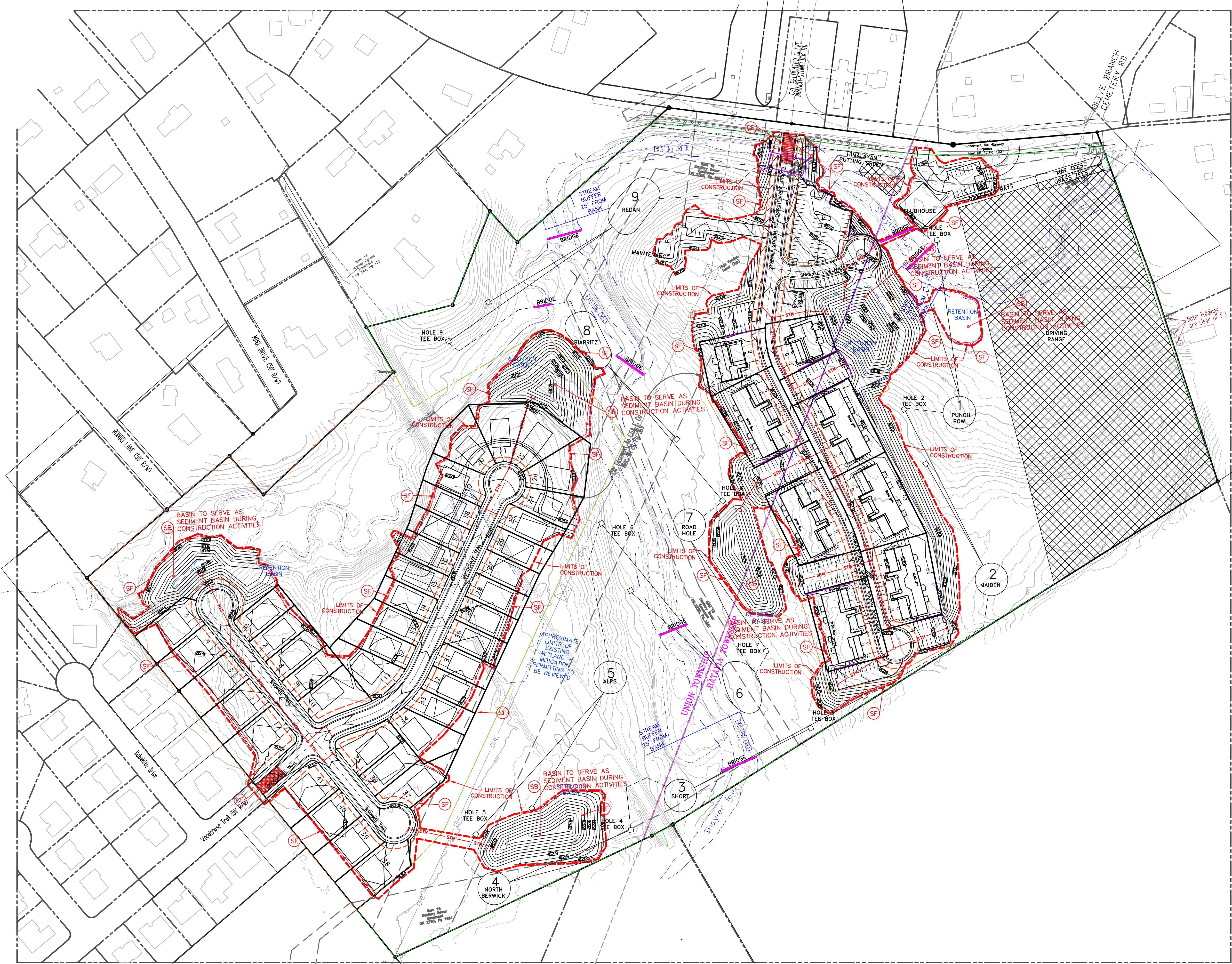
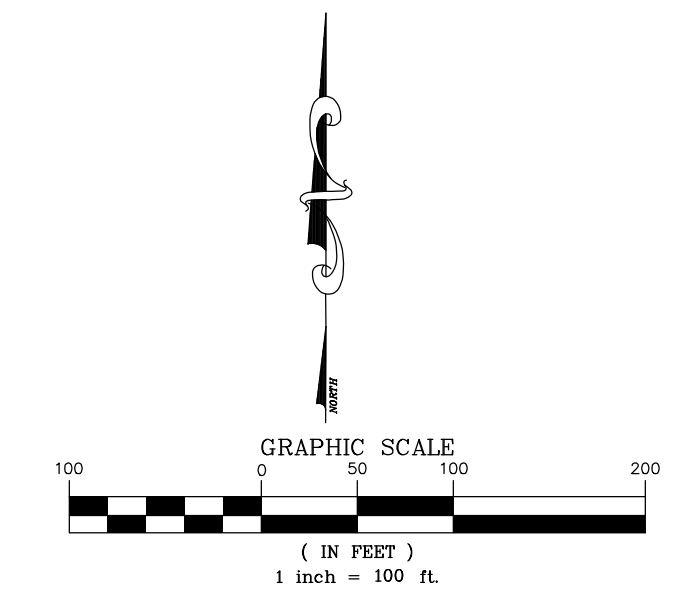


LEGEND	
—O—	OVERHEAD ELECTRIC
—U—	UNDERGROUND ELECTRIC
⊠	ELECTRIC BOX
⊙	ELECTRIC MANHOLE
⊙	ANCHOR POLE
⊙	LIGHT POLE
⊙	UTILITY POLE
⊙	GROUND LIGHT
—T—	OVERHEAD TELEPHONE
—U—	UNDERGROUND TELEPHONE
⊠	TELEPHONE BOX
⊙	TELEPHONE MANHOLE
•	BOLLARDS
—	MAIL BOX
—	WATER LINE
—	WATER VALVE
⊕	FIRE HYDRANT
⊕	WATER METER
⊕	WATER VALVE BOX
⊕	WATER VALVE MANHOLE
⊕	POST INDICATOR VALVE
—	GAS LINE
—	GAS VALVE
⊕	GAS VALVE BOX
⊕	UTILITY MANHOLE
⊕	SEWER MANHOLE
⊕	STORM MANHOLE
—	DITCH OR CREEK
—	GUARDRAIL
—	FENCE LINE
—	R/W FENCE LINE

REVISIONS		
DATE	#	ITEM
05/16/25	1	DESIGN PLAN REVISIONS
05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
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PHONE: 959-581-9600  
FAX: 659-581-9636

WEBSITE: <http://www.cardinalengineering.net>



**NOTES:**

- EXISTING UTILITIES SHOWN HEREIN ARE FROM A SURVEY PROVIDED BY NICHOLS SURVEYING DATED JULY 11, 2013 AND FROM CLERMONT COUNTY GIS RECORDS. LOCATIONS ARE APPROXIMATE AND SHALL REQUIRE FIELD VERIFICATION DURING THE DESIGN PHASE.
- PROPOSED UTILITIES, GRADING AND DETENTION BASINS SHOWN HEREIN ARE CONCEPTUAL AND SHALL BE SUBJECT TO FINAL DESIGN.
- ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
- WASTEWATER SHALL BE PIPE TO EXISTING 24" SANITARY MAIN.

SWPPP LEGEND	
⊠	CE TEMPORARY STONE CONSTRUCTION EXIT
— SF —	SF TEMPORARY SILT FENCE
—	CONSTRUCTION LIMITS
⊕	IP1 DANDY BAG® INLET SEDIMENT FILTER
⊕	IP4 EXCAVATED INLET SEDIMENT TRAP
⊠	CW CONCRETE WASHOUT
⊕	SB SEDIMENT BASIN

**PROJECT:** SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
BATAVIA & UNION TOWNSHIPS, CLERMONT COUNTY, OHIO

**CLIENT:** MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

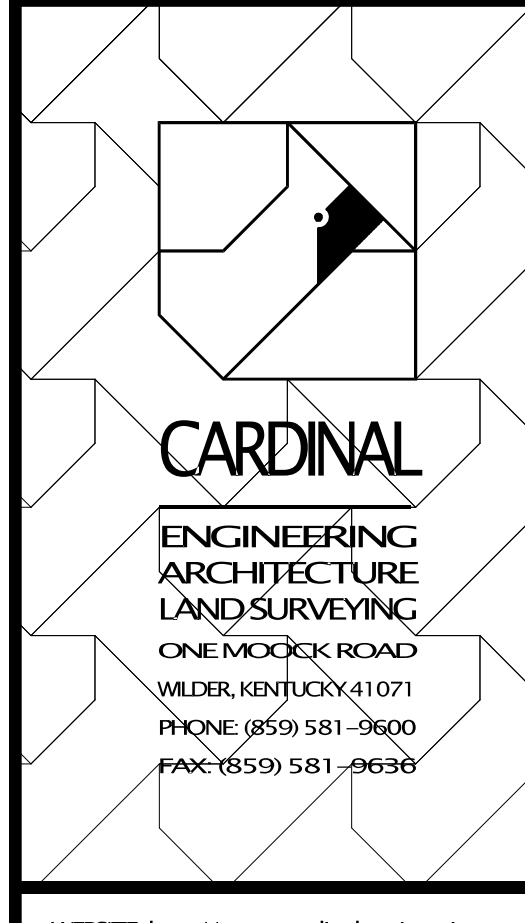
**DRAWN BY:** SFM  
**CHECKED BY:** JCK  
**PROJECT MANAGER:** SFM

**PROJECT NO. 24-185**  
**SCALE 1"=100'**  
**DATE 04-25-25**

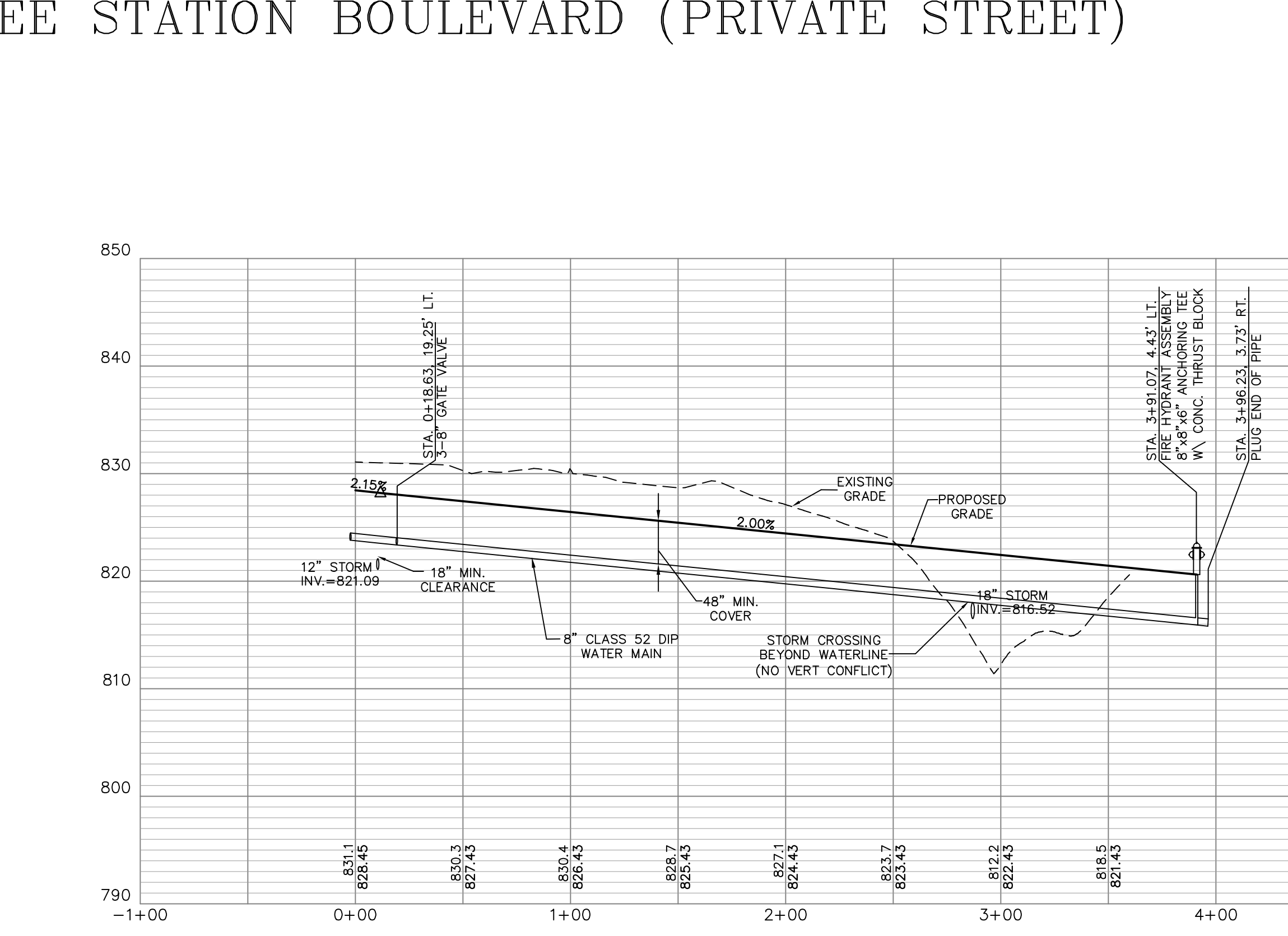
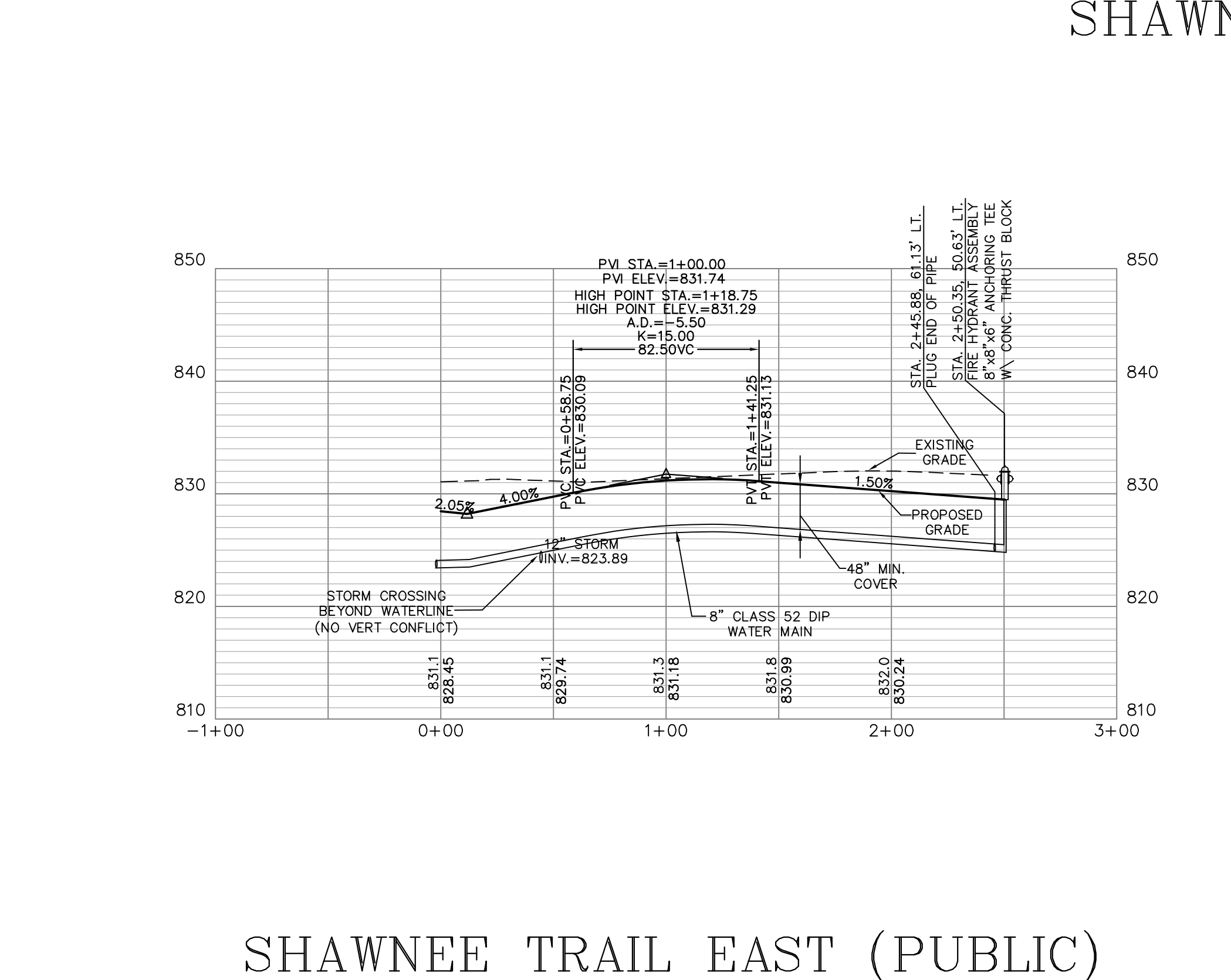
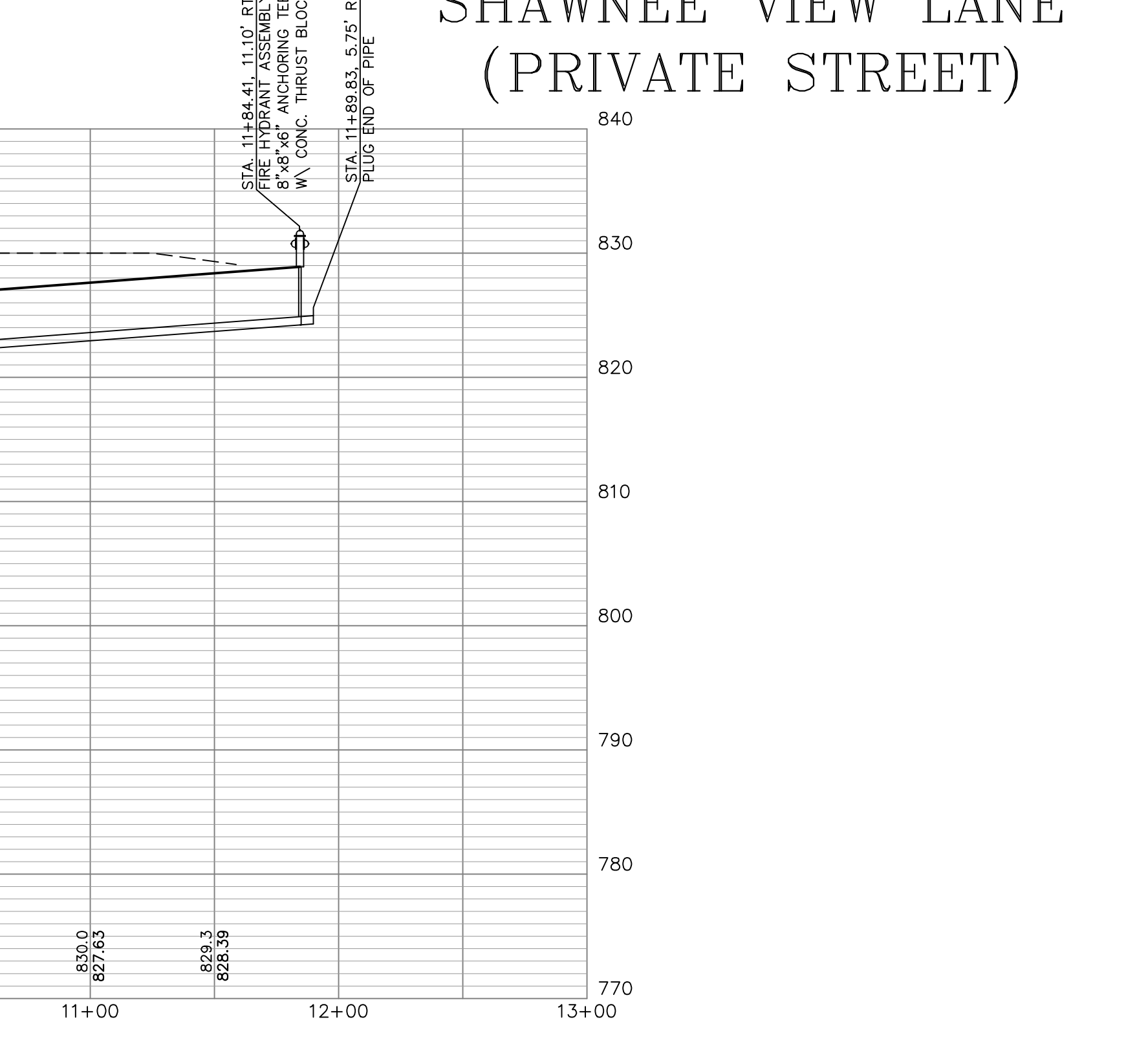
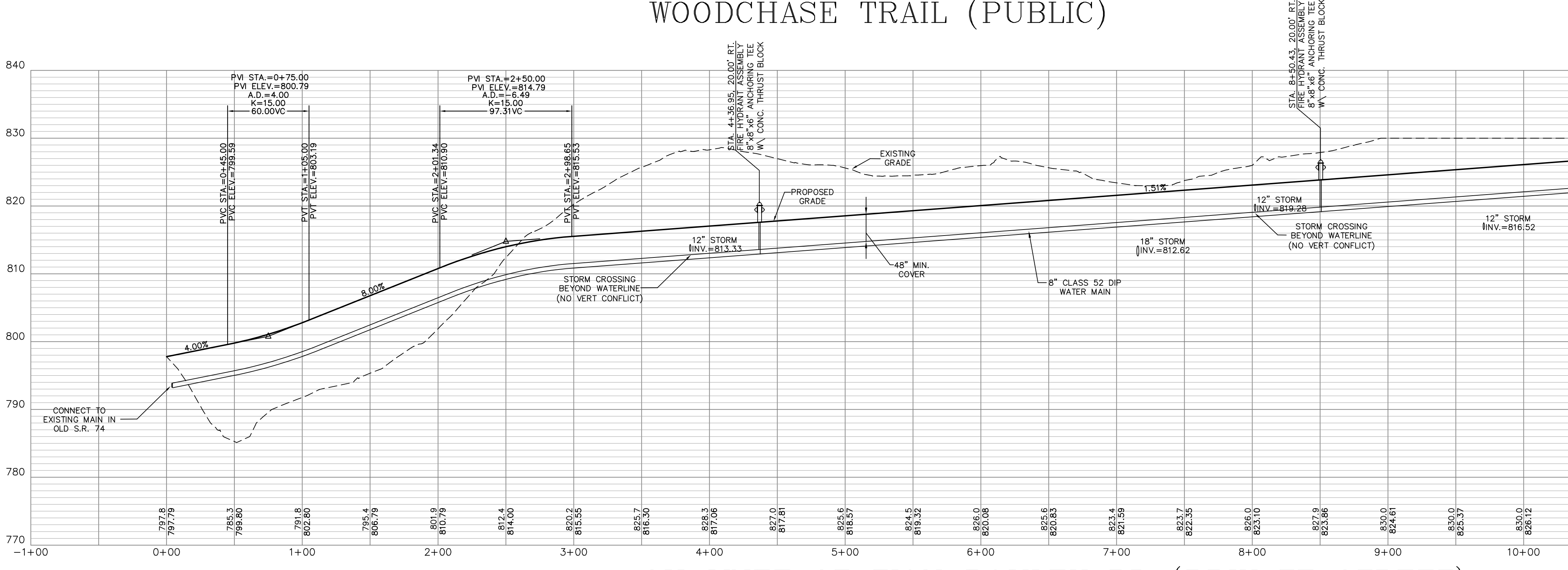
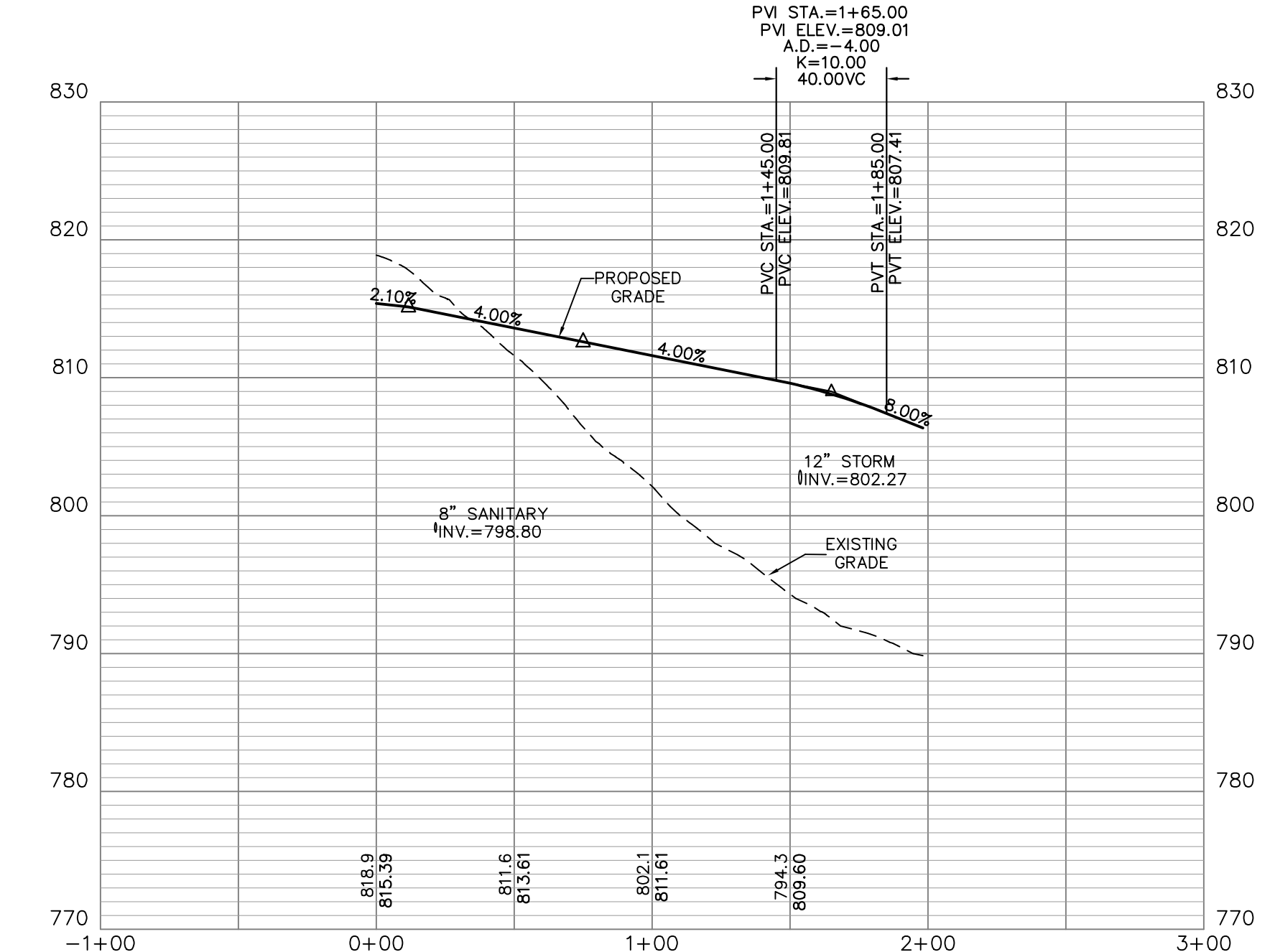
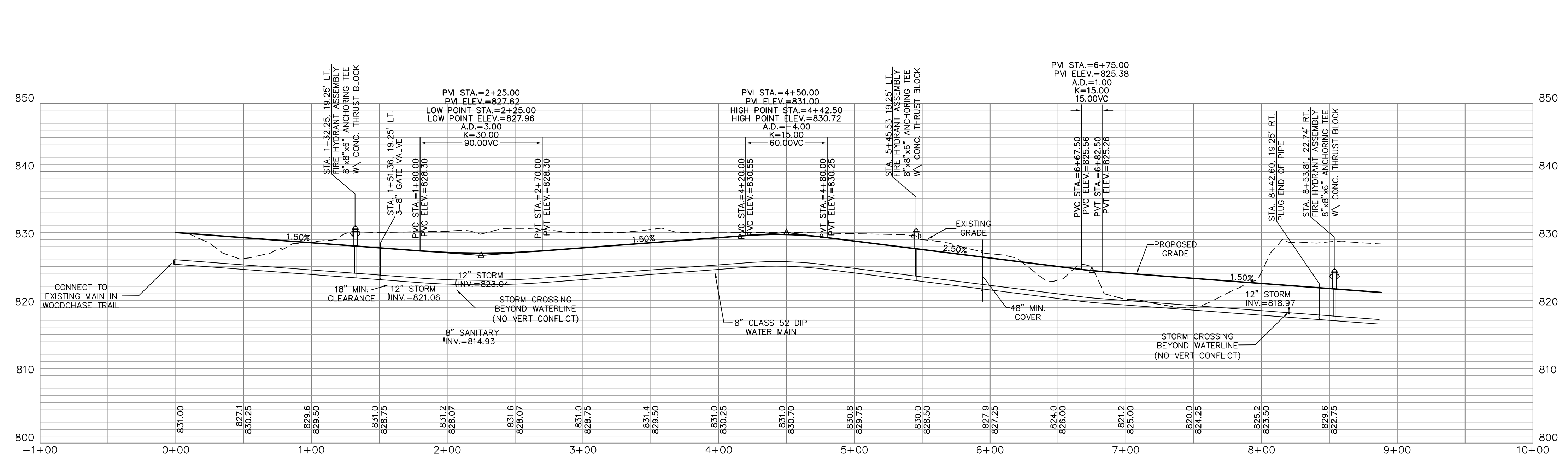
**PRELIMINARY SWPPP PLAN**

**SHEET C-700**

REVISIONS	DATE	#	ITEM
05/16/25		1	DESIGN PLAN REVISIONS
05/19/25		2	DESIGN PLAN REVISIONS



WEBSITE: <http://www.cardinalengineering.net>

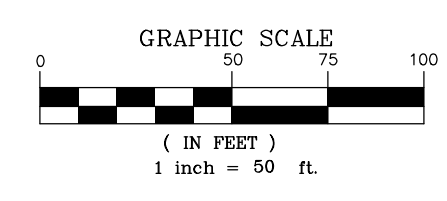


PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2038  
BATAVIA & UNION TOWNS, CLERMONT COUNTY, OHIO

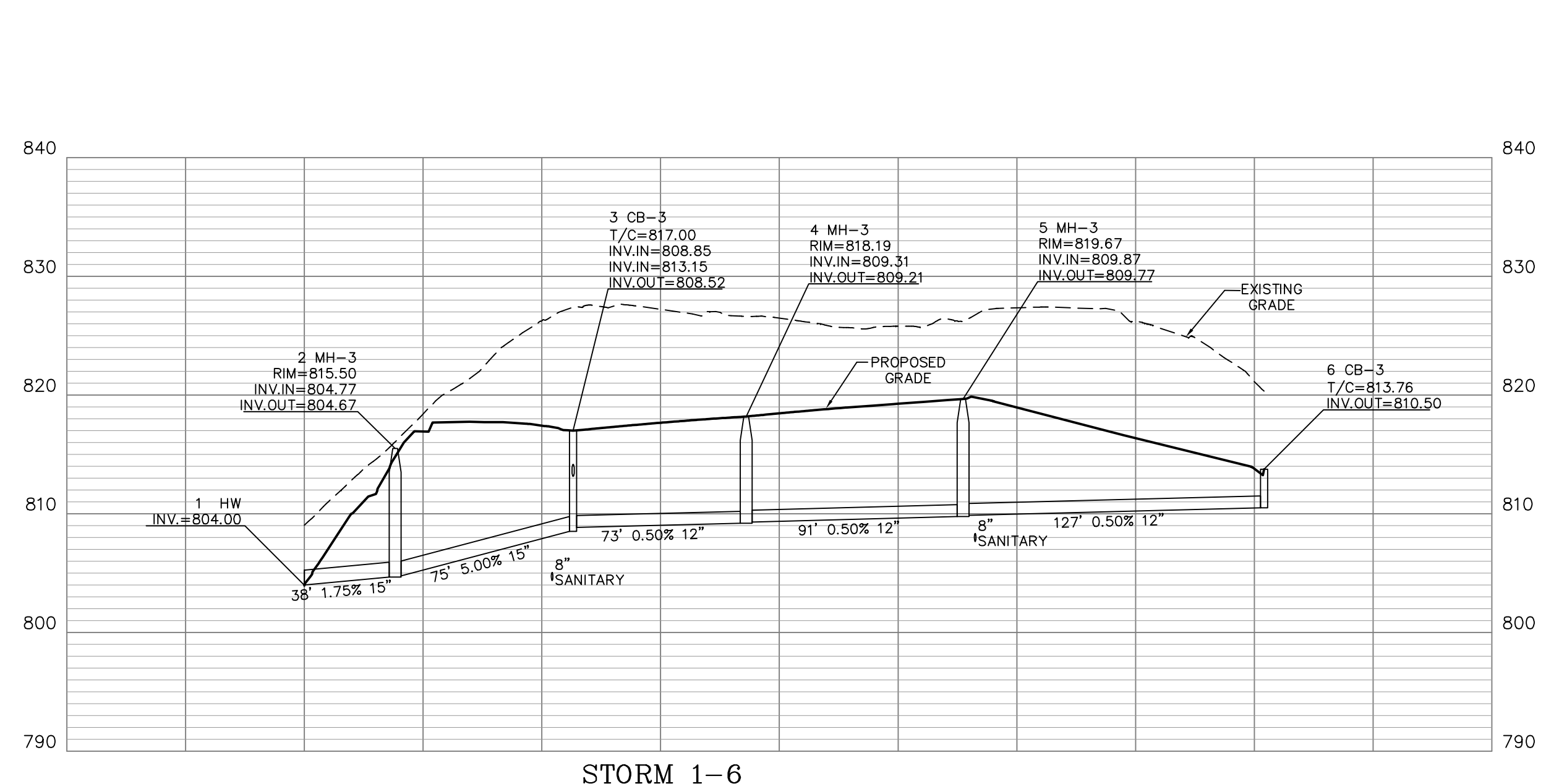
CLIENT:  
MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY:	SEAL
CHECKED BY:	JCK
PROJECT MANAGER:	SPM

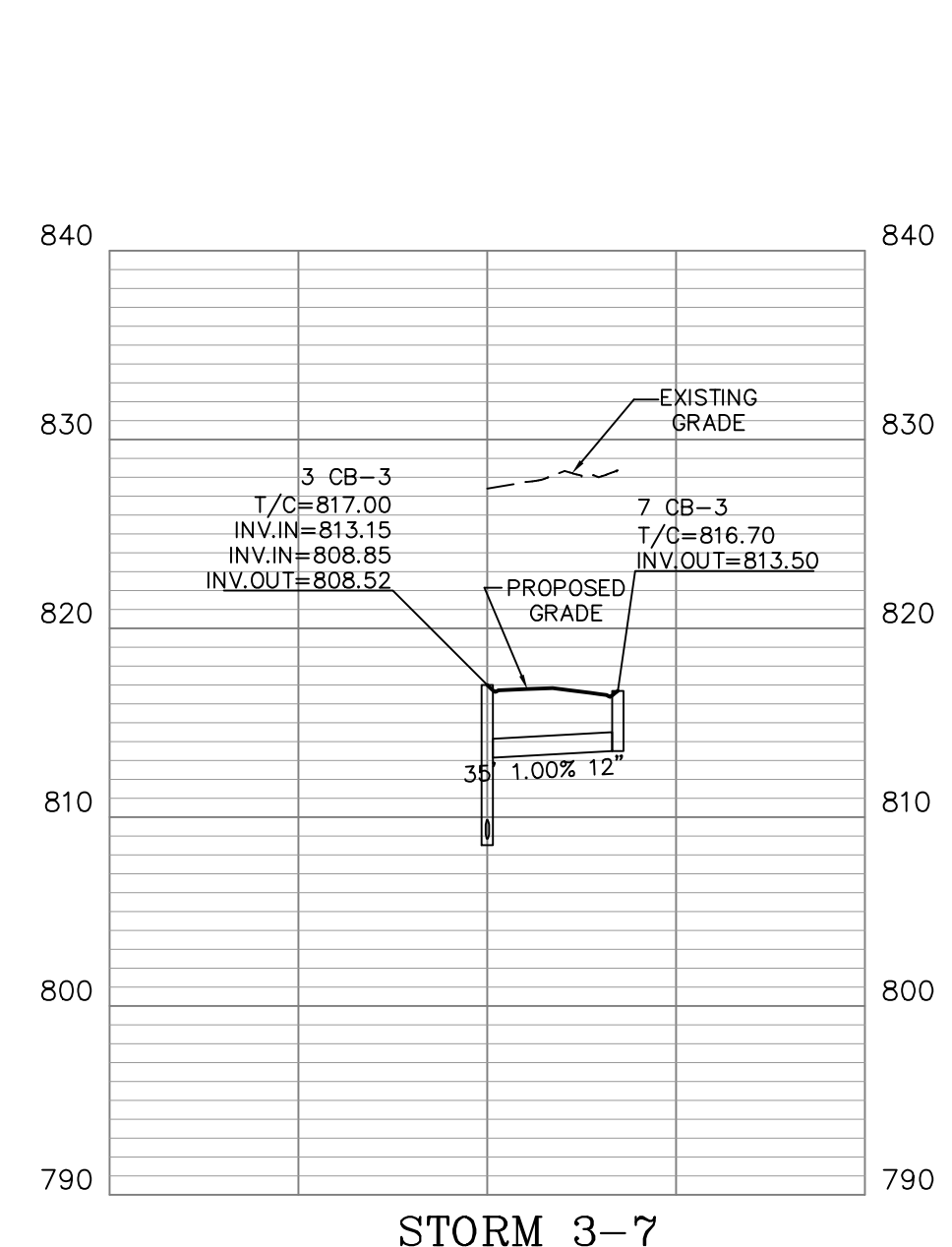
PROJECT NO. 24-185  
SCALE 1"=50' HORZ 1"=10' VERT  
DATE 04-25-25  
PRELIMINARY STREET & WATER PROFILES  
SHEET C-900



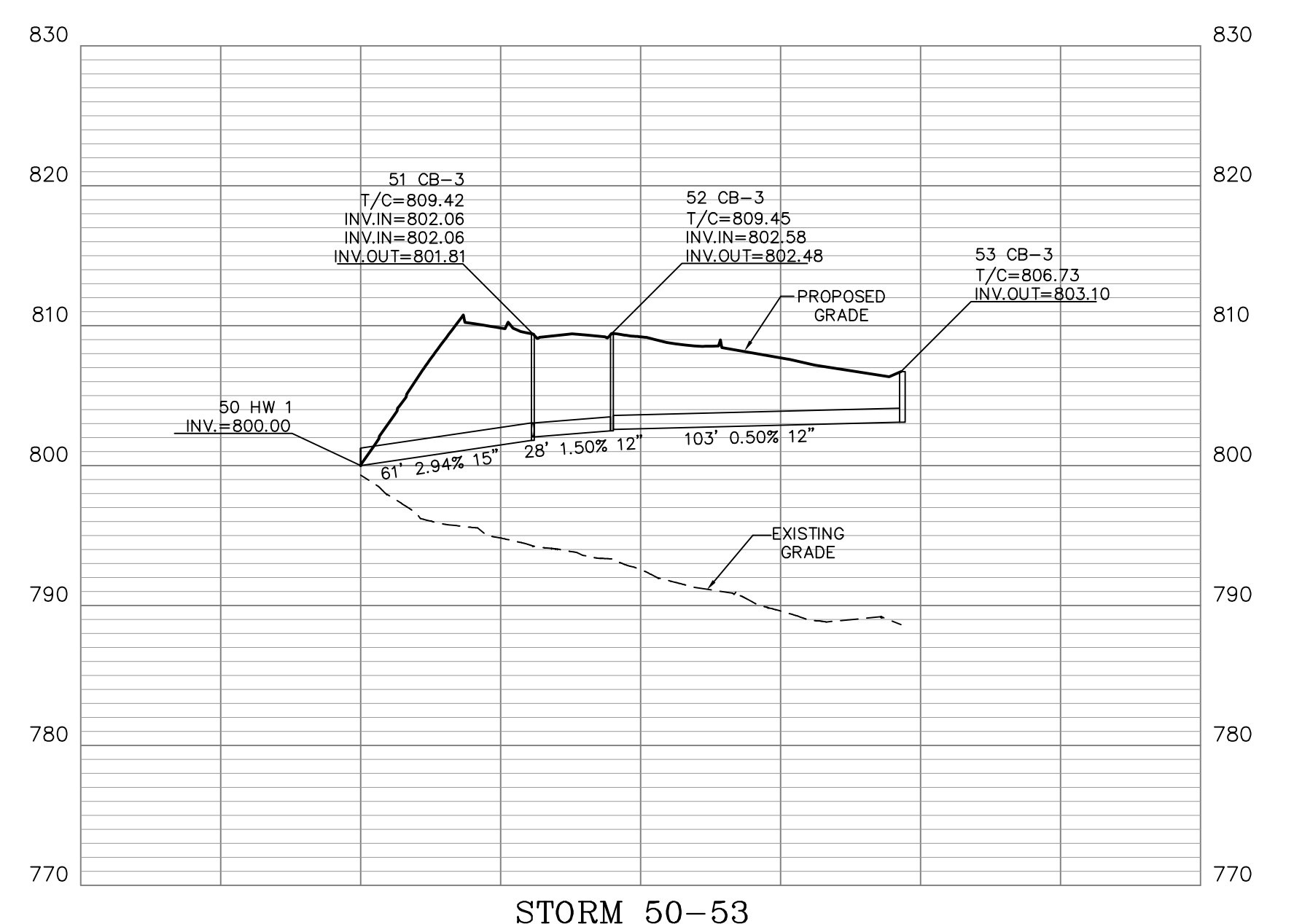
REVISIONS	DATE	#	ITEM
05/16/25		1	DESIGN PLAN REVISIONS
05/19/25		2	DESIGN PLAN REVISIONS



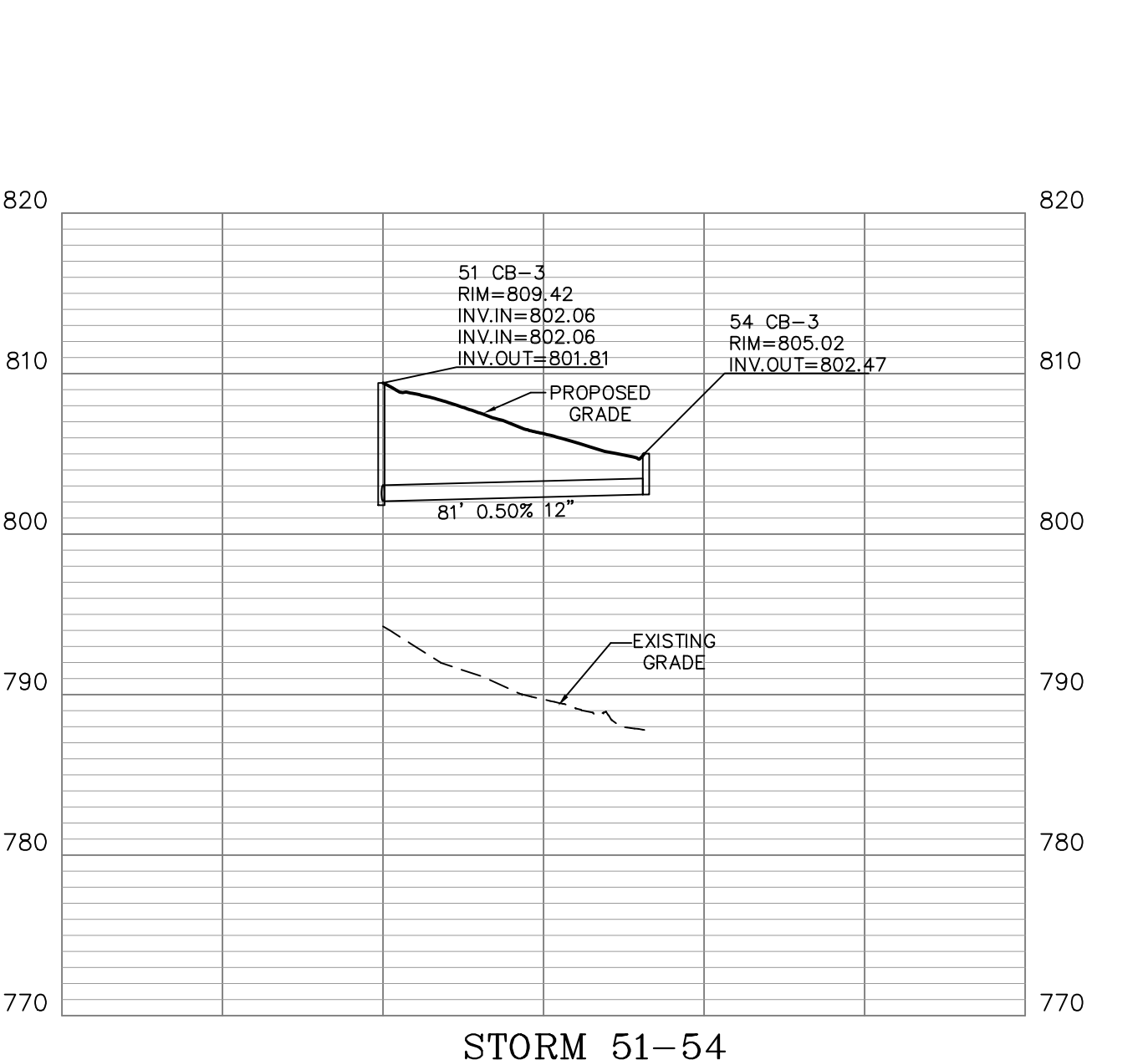
STORM 1-6



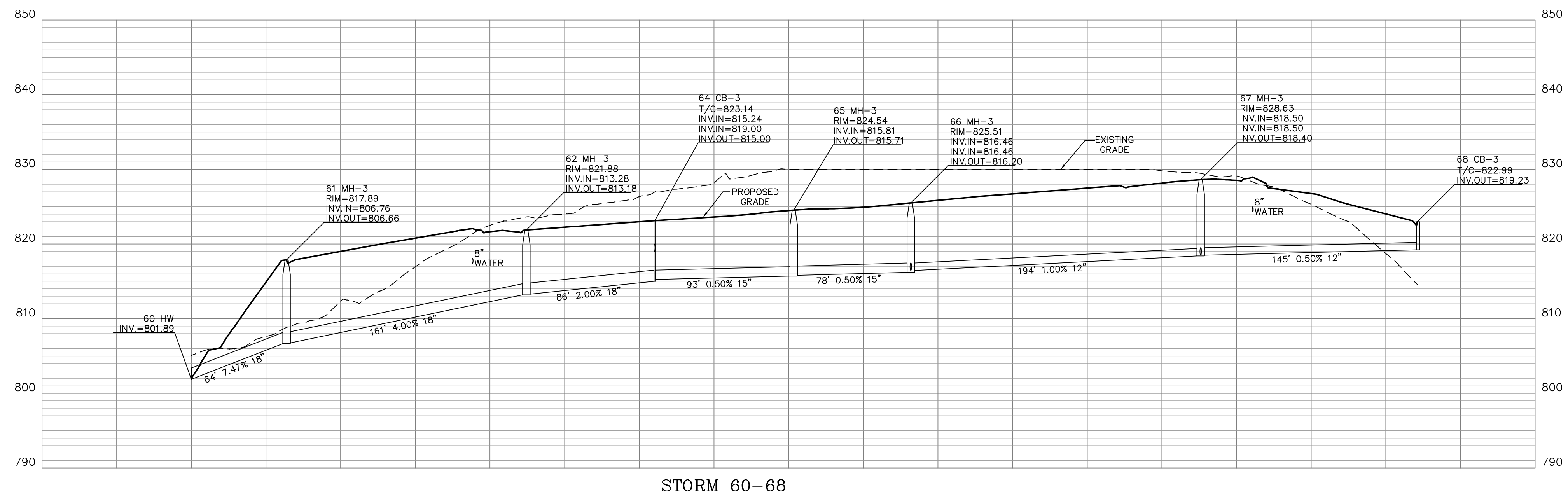
STORM 3-7



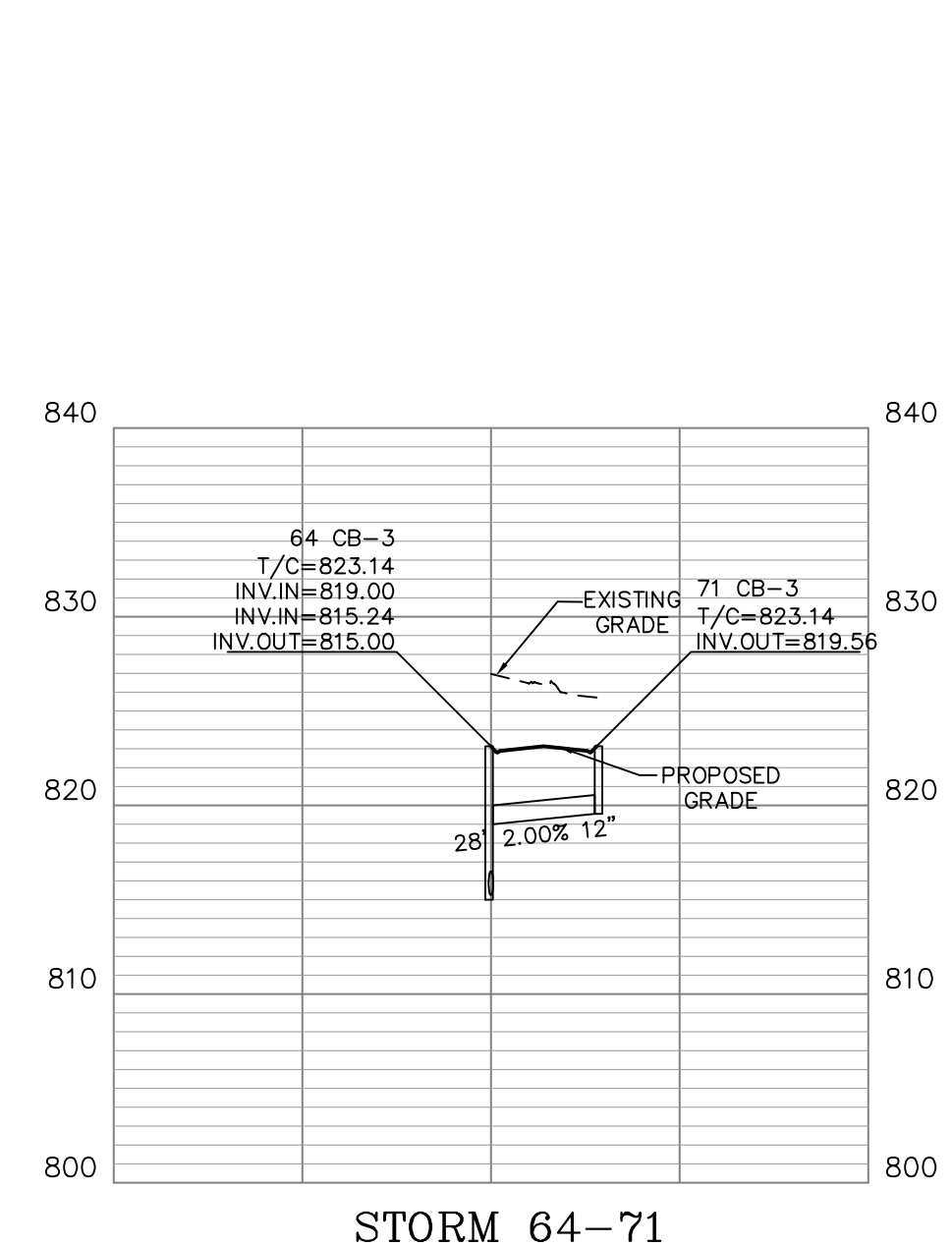
STORM 50-53



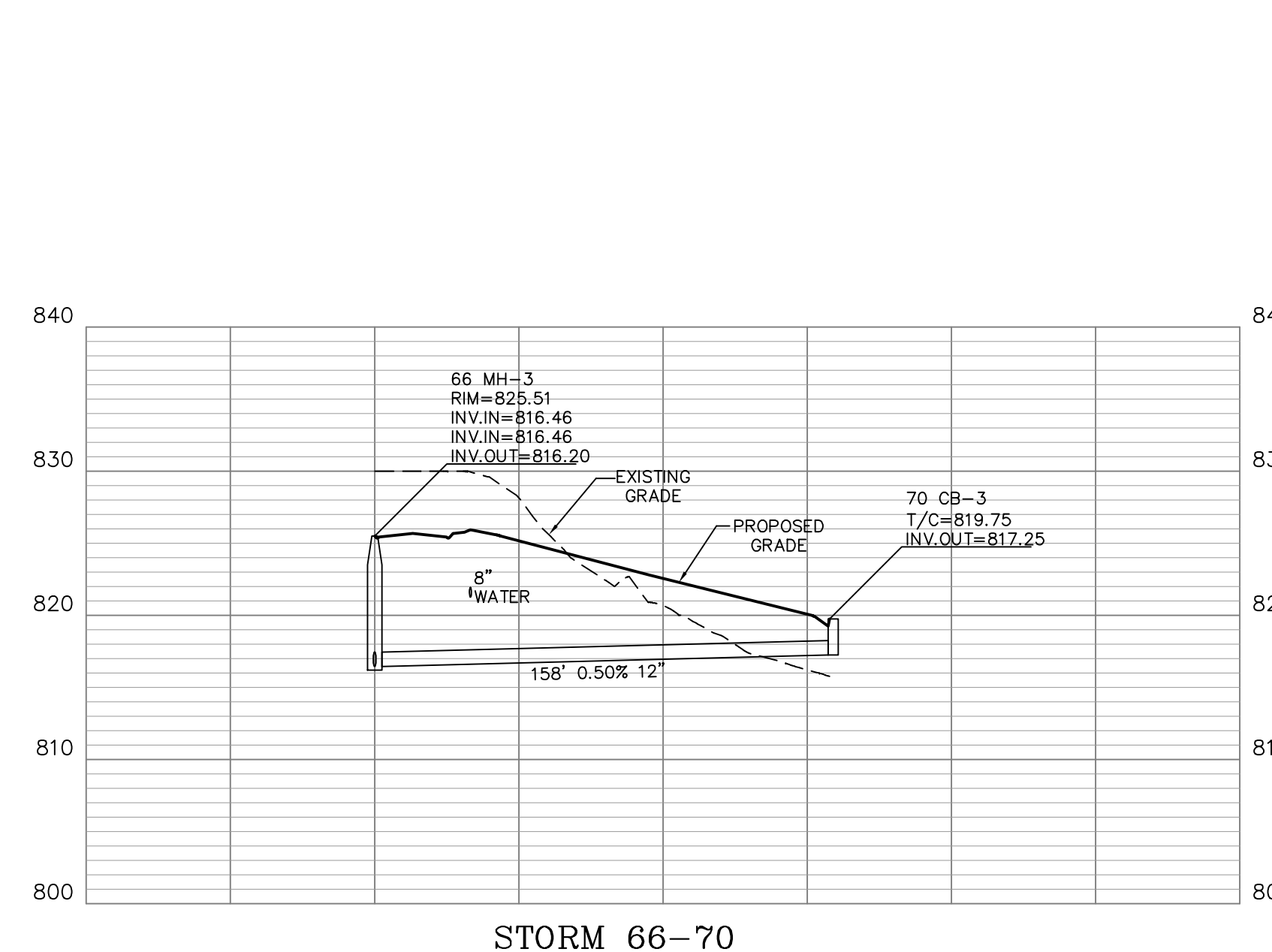
STORM 51-54



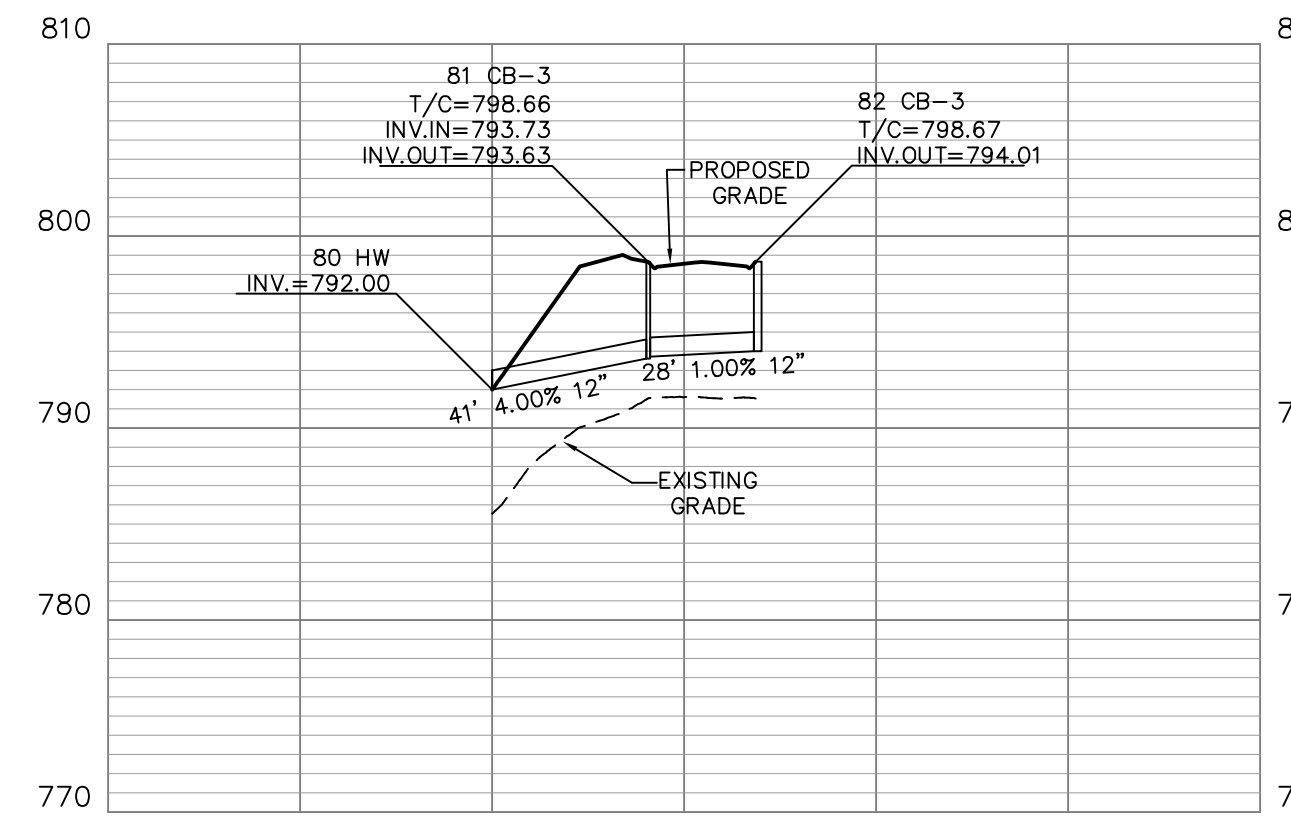
STORM 60-68



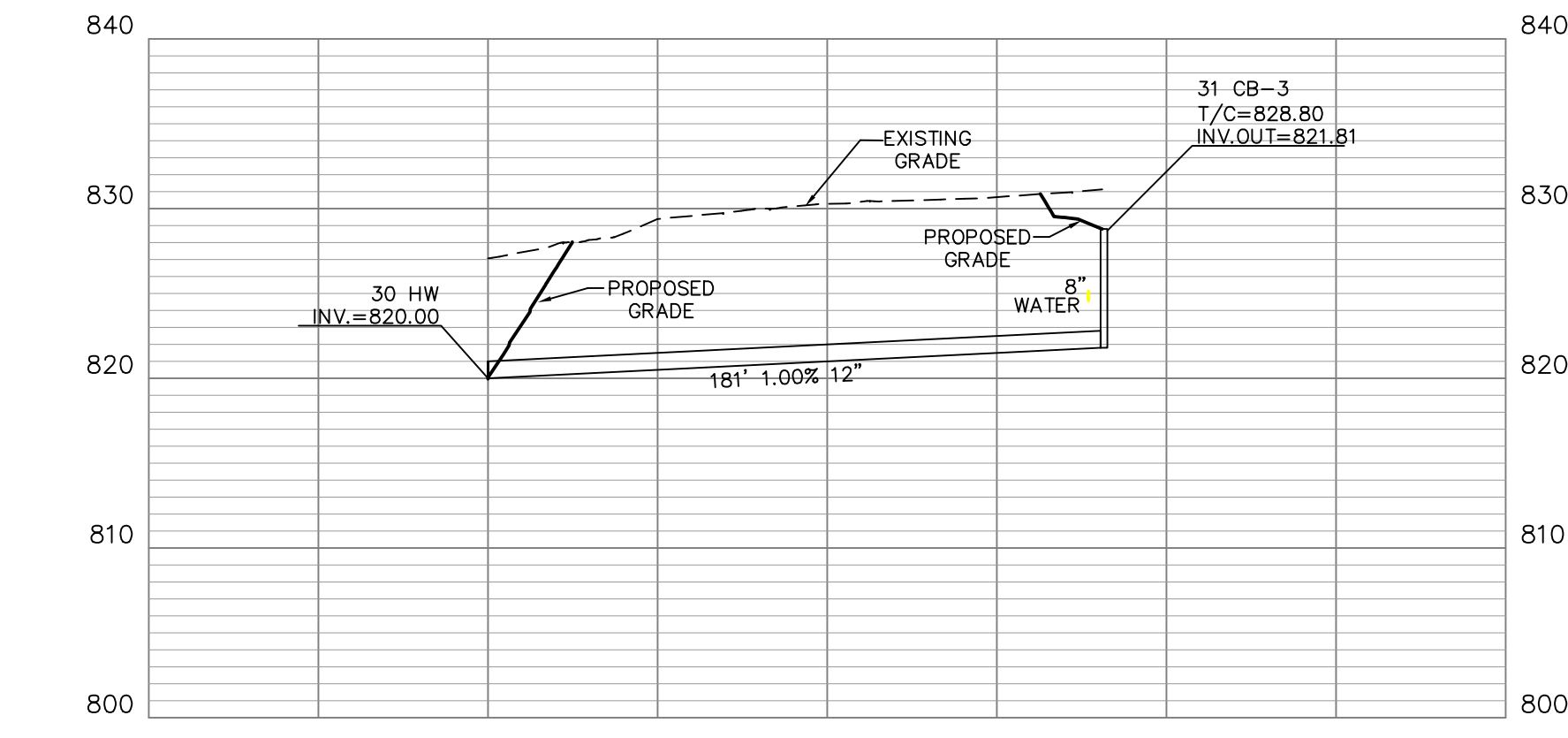
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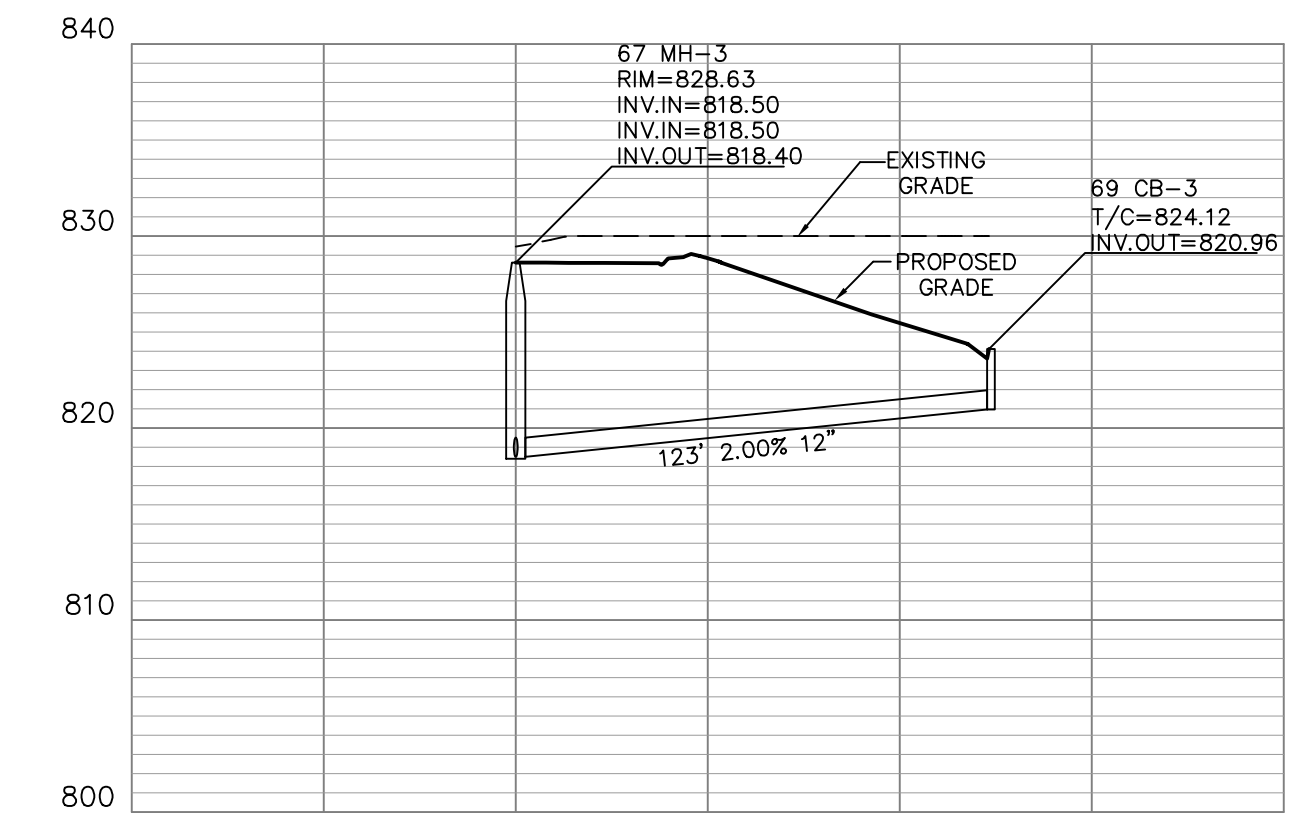
STORM 66-70



STORM 80-82

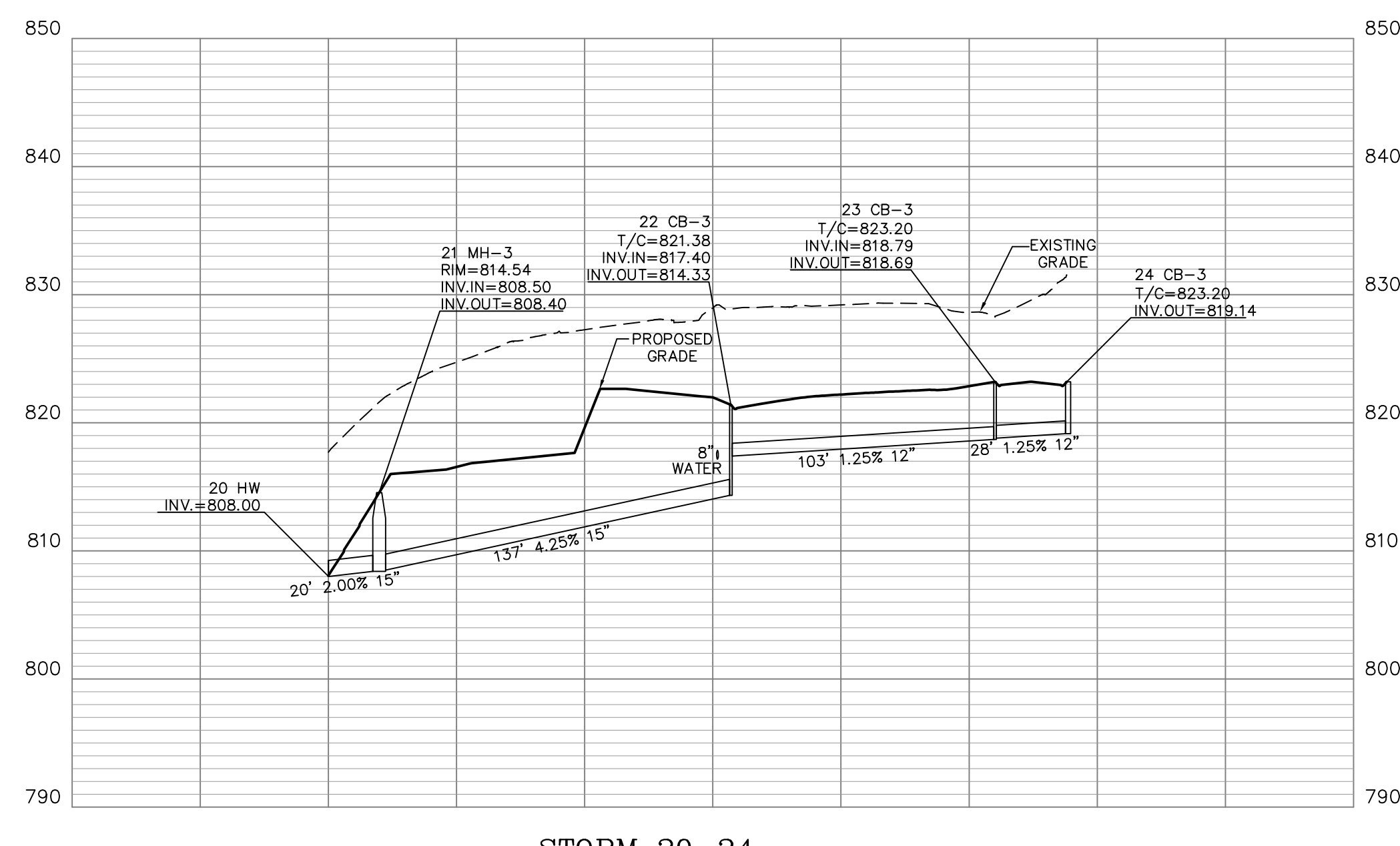


STORM 30-31

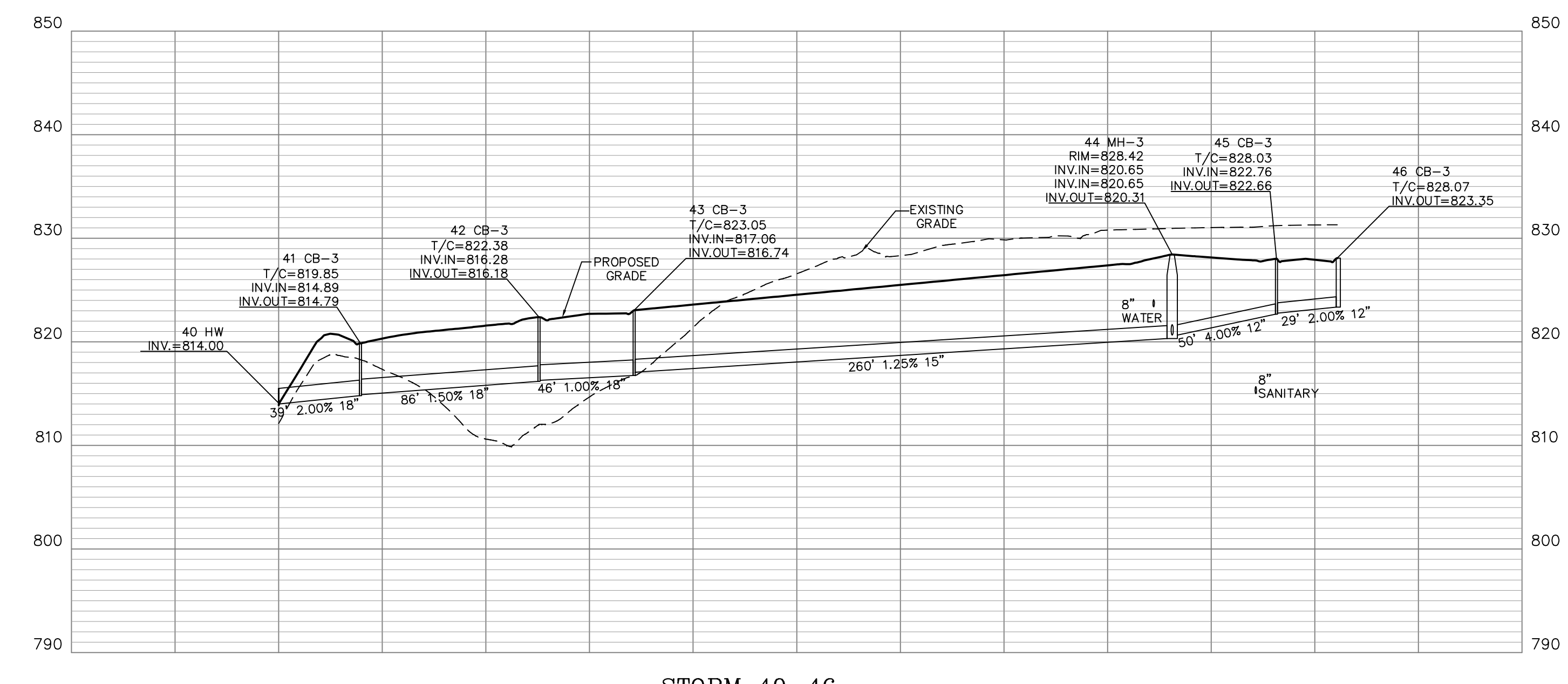


STORM 67-69

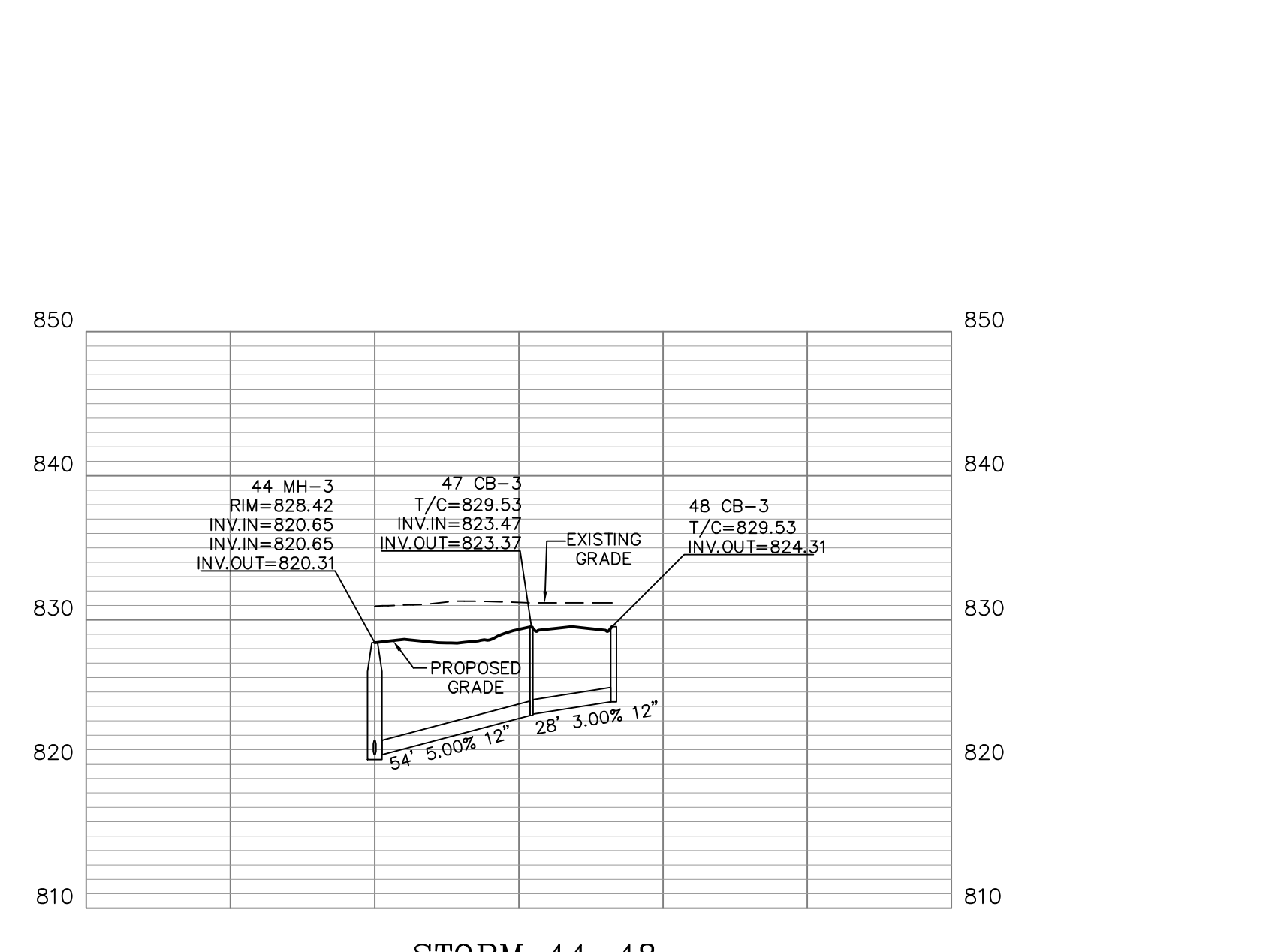
ALL PUBLIC STORM SEWER SHALL MEET THE FOLLOWING REQUIREMENTS:  
PVC OR ADS PLASTIC, ODOT 707.33 & 707.45, OR CONCRETE 706.02



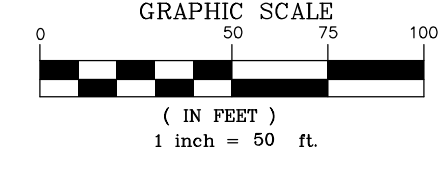
STORM 20-24



STORM 40-46



STORM 44-48



PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2038  
BATAVIA & UNION TOWNSHIPS, CLERMONT COUNTY, OHIO

CLIENT:  
MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY:	SEAL
SPM	
CHECKED BY:	JCK
PROJECT MANAGER:	SPM

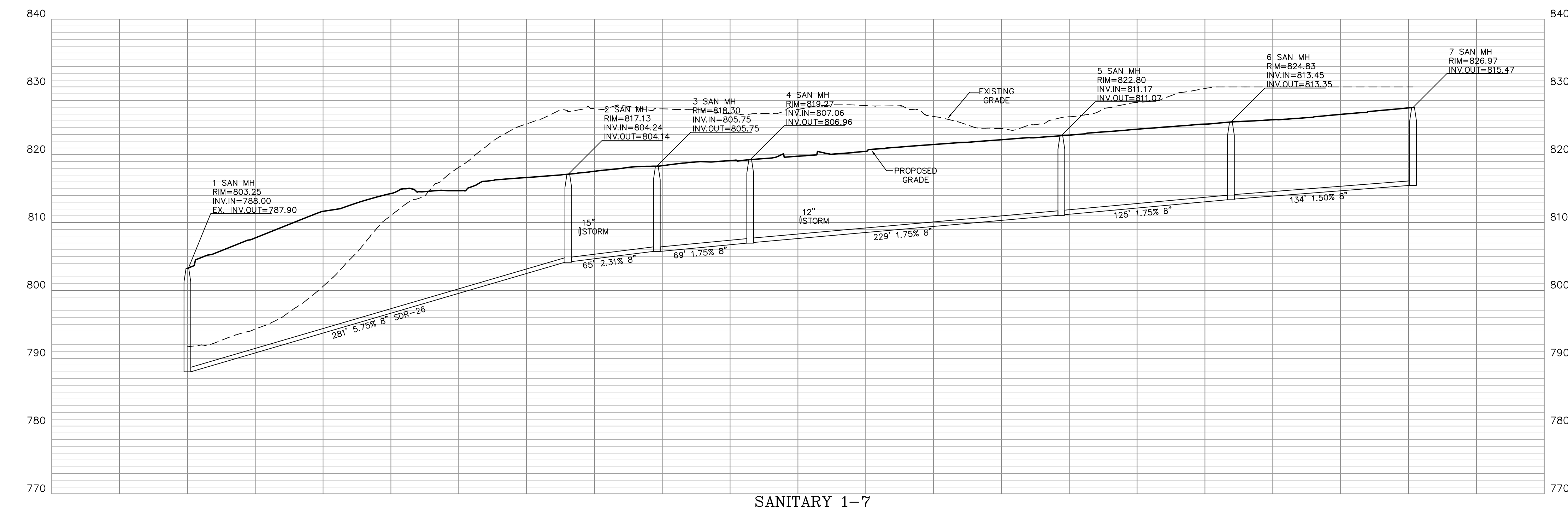
PROJECT NO. 24-185  
SCALE 1"=50' HORZ 1"=10' VERT  
DATE 04-25-25

PRELIMINARY  
STORM PROFILES  
SHEET  
**C-910**

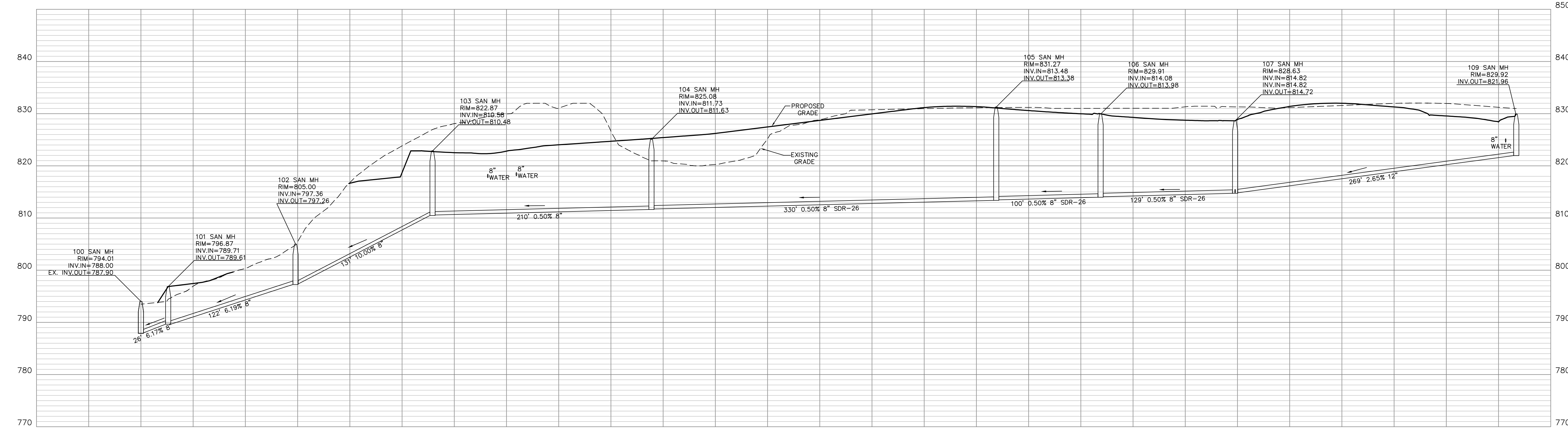
REVISIONS	DATE	#	ITEM
	05/16/25	1	DESIGN PLAN REVISIONS
	05/19/25	2	DESIGN PLAN REVISIONS

**CARDINAL**  
ENGINEERING  
ARCHITECTURE  
LAND SURVEYING  
ONE MOORE ROAD  
MILER, KENTUCKY 41071  
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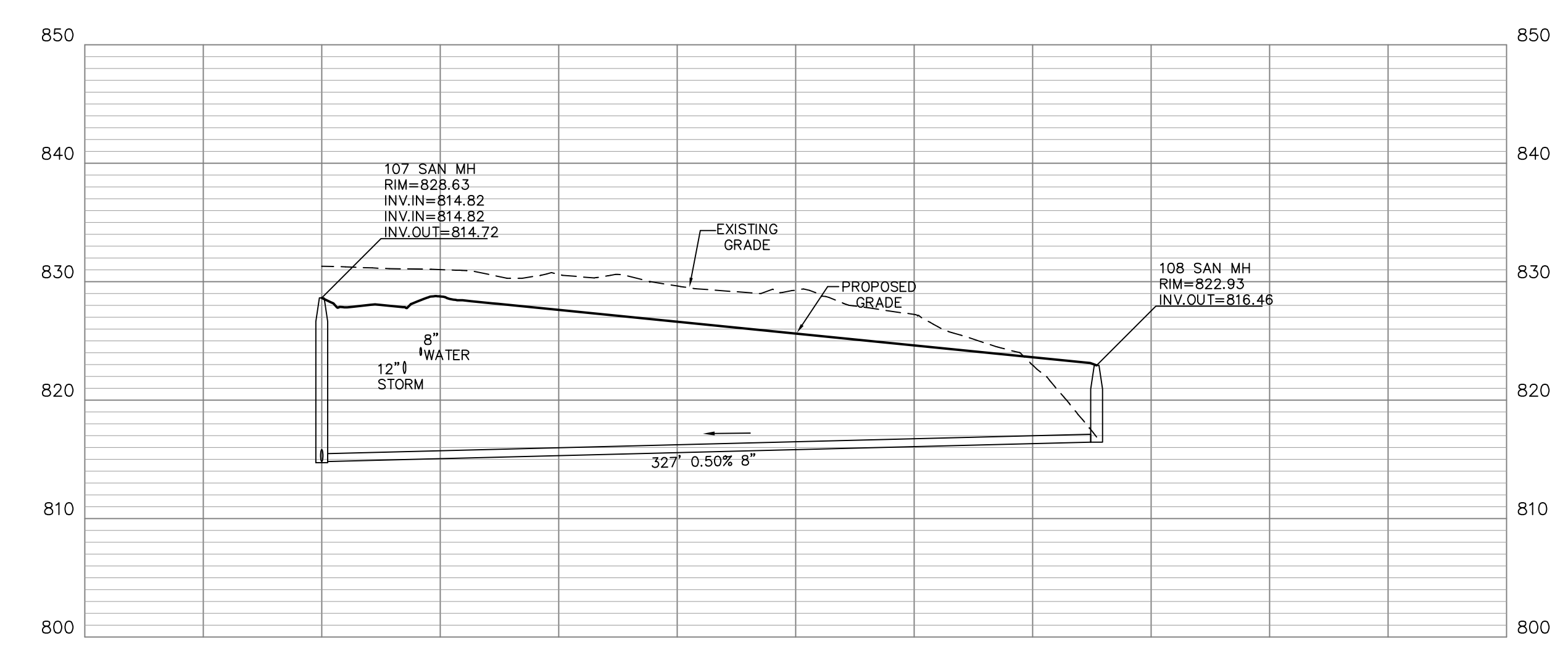
WEBSITE: <http://www.cardinalengineering.net>



SANITARY 1-7

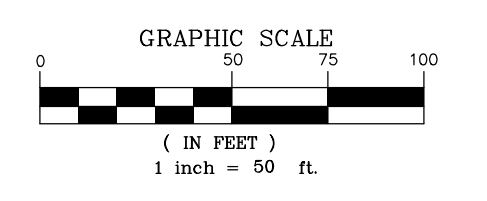


SANITARY 100-109



SANITARY 107-108

ALL SANITARY SEWER PIPES ARE TO BE PVC SDR-35 UNLESS OTHERWISE NOTED.  
ALL SANITARY LATERALS ARE TO BE PVC SDR-35 UNLESS OTHERWISE NOTED.



PROJECT: SHAWNEE STATION DEVELOPMENT & GOLF COURSE  
CLERMONT COUNTY DESIGN PLANS  
DARBY M.S. #2038  
BATAVIA & UNION TOWNSHIP, CLERMONT COUNTY, OHIO

CLIENT: MER LAND DEVELOPMENT, LLC  
P.O. BOX 43121  
CINCINNATI, OHIO 45243

DRAWN BY:	SEAL
SPM	
CHECKED BY:	
JCK	
PROJECT MANAGER:	
SPM	

PROJECT NO. 24-185  
SCALE 1"=50' HORZ 1"=10' VERT  
DATE 04-25-25

PRELIMINARY  
SANITARY PROFILES  
SHEET  
**C-920**